



TurnKey Recovery™
Managed Direct Repair Program

INVITATION FOR BID (IFB)

<u>IFB Number</u>	<u>Scope Description</u>	<u>Closing Date</u>	<u>Closing Time</u>
PR189079-004048-12772	Interior and Exterior Repairs	05/29/2023	4:30 PM CST

Insured Property Owner: Georgetown Housing Authority			
Property Location Name: Duplex (2BR) (ID 048)			
Address Line 1: 1506-1508 Hart St			
Address Line 2:			
City: Georgetown	State: TX	Zip Code: 78626	

DESCRIPTION: Furnish all required labor, materials, and equipment necessary to provide Scope-of-Work at the above-described location. Work is being authorized under the elected TMLIRP TurnKey RecoverySM Program administered by Synergy NDS, Inc. (SynergyNDS) on behalf of the Insured Property Owner, a Member of the Texas Municipal League Intergovernmental Risk Pool (TMLIRP).

SUBMITTAL INSTRUCTIONS: In support of Procurement Guidelines, the IFB Packet includes specifications and terms & conditions associated with the above referenced project information.

- Bids shall be received no later than the Closing Date & Time indicated above. Bids received after above deadline or that are not submitted in accordance to Submittal Instructions may be rejected without further explanation or contractor notification.
- Bid shall be completed and submitted via DocuSign by filling out the **Contractor Submittal Form** (see Page 5 of this IFB Packet). Contractor may attach additional supporting documents that may or may not be used in the overall scoring of the IFB Contractor Submittal. Attachments do not change &/or modify the IFB, Scope-of-Work and the Turnkey RecoverySM General Contractor Expectations Document.
- Contractor IFB Form Submittal **MUST INCLUDE** all applicable Sales Tax or any other Local, State &/or Federally mandated fee(s) within the aggregated Lump Sum Proposal. Do not breakout separately.
- Contractor is responsible to validate all Quantities and Units of Measurements specific to the following scope items &/or products. The information and descriptions provided in the IFB are intended for general guidance purposes only. Contractor may not change or alter any material &/or specifications identified in the IFB for submission purposes without prior written/email notification to: bids@synergynds.com.
- Contractor has the sole responsibility to ensure that all services and material for BID Submittal (whether stated correctly in the IFB or not) satisfactorily meet all required Codes & Standards, OSHA Guidelines and The Americans with Disabilities Act (ADA).
- Contractor should also consider the approach (if necessary) in which to stock/store material at the jobsite in a safe and secure manner. SynergyNDS will not be responsible for lost or stolen material, supplies or equipment stocked at the jobsite.
- Bid award will be made based on best overall LUMP SUM project value as determined by SynergyNDS in accordance to market valuation, project demands, critical path scheduling – as well as overall Insured Member's WorkForce Participation Goals. Contributing factors, in addition to price, may be

considered as necessary to help determine bid award based on any additional criteria set forth by the specific TMLIRP Insured Member.

8. SynergyNDS reserves the right to modify the IFB Specifications and Terms & Conditions at any time during the bid solicitation process. Timely notice to all bidders will be given via an electronically distributed Addendum.
9. All registered HUB & HUB Zone Contractors, as well as DBEs are encouraged to participate. Additional Contractor Financial Assistance is available to help support daily HUB/DBE Contractor's operations under the terms and condition of a successful contract award.
10. SynergyNDS is an equal opportunity employer and administers all Contracts & Contractor Agreements in accordance to the requirements of 41 CFR §§ 60-1.4(a), 60-300.5(a) and 60-741.5(a).
11. Contractor is strongly encouraged to schedule a Site Visit of the property as necessary to support the IFB Submittal. All scheduled site visits can be requested at bids@synergynds.com.
12. When a mandatory Pre-BID Meeting is identified and scheduled in a specific IFB, Contractor Attendance is a requirement as part of the Solicitation. Contractors who fail to attend the Pre-BID Meeting will not be eligible to participate in the IFB and subsequent submittal process.
13. Contractor can submit all questions &/or concerns specific to the IFB by email to: bids@synergynds.com.

SCOPE-OF-WORK SUMMARY

Refer to **EXHIBIT A** for scope-of-work description.

Yes | No

- | | | | |
|-------------------------------------|--|-------------------------------------|---|
| <input type="checkbox"/> | | <input checked="" type="checkbox"/> | This IFB is part of a publicly advertised solicitation |
| <input type="checkbox"/> | | <input checked="" type="checkbox"/> | This IFB is part of a potential Federally Funded Project. |
| <input checked="" type="checkbox"/> | | <input type="checkbox"/> | This IFB is being distributed externally |
| <input checked="" type="checkbox"/> | | <input type="checkbox"/> | This IFB requires a Contractor Payment or Performance Bond. |
| <input checked="" type="checkbox"/> | | <input type="checkbox"/> | This IFB requires a Pre-BID Meeting |
| <input type="checkbox"/> | | <input checked="" type="checkbox"/> | This IFB supports workforce participation goals. |

**** THE REMAINING PART OF THIS PAGE IS INTENTIONALLY LEFT BLANK ****



IFB EXHIBIT A Scope-of-Work

<u>IFB Number</u>	<u>Scope Description</u>	<u>Closing Date</u>	<u>Closing Time</u>
PR189079-004048-12772	Interior and Exterior Repairs	05/29/2023	4:30 PM CST

Insured Property Owner: Georgetown Housing Authority

Property Location Name: Duplex (2BR) (ID 048)

Address Line 1: 1506-1508 Hart St

Address Line 2:

City: Georgetown

State: TX

Zip Code: 78626

GENERAL SCOPE DESCRIPTION

Interior and exterior repairs - general

GENERAL SCOPE-OF-WORK DISCUSSION

Interior and Exterior Repairs - general due to vehicle impact and subsequent damage to two units.

Repair existing deck for sunroom installation.

Repair approx. 300 sq ft of exterior siding.

Repair drywall and wood finishes that were damaged in the living room of two units.

Repair front doors and windows in the living room.

Repair electrical wiring, switches and fixtures in both living rooms.

Replace stone wall front facade for both units.

Replace decorative front wood framing of unit 1506.

Remove and replace low slope roofing for unit 1508.

For specific and additional details on the scope of work and repairs, see the attached engineering plans and notes.

A payment and performance bond is required to be issued by the awarded contractor for this project.

*Information should match scope-of-work description as described in SimpliCitySM.

ADDITIONAL NOTES &/OR REQUIREMENTS

The awarded contractor shall keep the job site clean and free from hazards that could impacted workers, employees and the general public.

A payment and performance bond is required to be issued by the awarded contractor for this project.

DRAWING & SPECIFICATION DESCRIPTION

REPAIR DRAWINGS FOR GEORGETOWN HOUSING AUTHORITY
1506-1508 HART STREET, GEORGETOWN, TX 78626

Document #1 Plans / drawings and specification notes.

Document #2 NA

ADDITIONAL CONTRACTOR EXPECTATIONS

The awarded contractor shall keep the job site clean and free from hazards that could impacted workers, employees and the general public. This project shall be single source for all required repairs.

A payment and performance bond is required to be issued by the awarded contractor for this project.

**Contractor should understand overall expectations as further detailed in the attached TurnKey RecoverySM Contractor Expectation Document in support of accounting for a responsible IFB Submittal.*

GENERAL WORKDAY &/OR JOBSITE CONSIDERATIONS

The awarded contractor shall keep the job site clean and free from hazards that could impacted workers, employees and the general public.

This project shall be single source for all required repairs.

- **Occupant Workday:** Standard (M-F/8-5pm) Wknd/After Hours Other _____
- **Building/Site Occupancy:** Occupied Vacant Partial
- **Site Access:** Open Restricted (Gated/Security)
- **Parking/Laydown Area:** Open/Available Restricted Limited
- **Restroom Facilities:** Fixed/Indoor Portalets Not Available
- **Waste/Debris Containers:** Provided/Onsite Include in BID

Email all IFB Questions to Bids@synergynds.com



TurnKey Recovery™
Managed Direct Repair Program

IFB – CONTRACTOR SUBMITTAL FORM

<u>IFB Number</u>	<u>Scope Description</u>	<u>Closing Date</u>	<u>Closing Time</u>
PR189079-004048-12772	Interior and Exterior Repairs	05/29/2023	4:30 PM CST

Company Name: _____

Address Line 1: _____

Address Line 2: _____

City: _____

State: _____

Zip Code: _____

Contractor Certification: DBE WBE/WOSB HUB SDVOSB/VOSB

CONTRACTOR LUMP SUM PROPOSAL:

IFB TITLE		PROPOSAL:	\$
----------------------	--	------------------	-----------

CONTRACTOR NOTES:

MATERIAL DEPOSIT: Required Requested

\$

I understand that all applicable Sales Tax or any other Local, State &/or Federally mandated fee(s) are to be included within the aggregated Lump Sum Proposal. Do not breakout separately. Contractor may attach additional supporting documents that may or may not be used in the overall scoring of the IFB Contractor Submittal. Attachments do not change &/or modify any of the Terms & Conditions as outlined in the IFB, Scope-of-Work (Exhibit A) and the Turnkey RecoverySM Contractor Expectations.

I, having the legal authorization to represent the "Company" (the undersigned) have read and understood the IFB, its Scope-of-Work and the Turnkey RecoverySM Contractor Expectations in accordance with the Terms & Conditions:

Company Contact Name (Please Print)

Company Title (Please Print)

Signature

Date



TURNKEY RECOVERYSM PROGRAM Overview & General Contractor Expectations

PROGRAM OVERVIEW

SynergyNDS and Texas Municipal League Intergovernmental Risk Pool (TMLIRP) have partnered in support of the critical needs of TMLIRP's 2,400+ Public Entities since 2017, representing over \$41 Billion of covered assets. SynergyNDS has the proven capacity and resources necessary to assist TMLIRP Members with disaster planning, preparation, response & recovery.

TMLIRP Turnkey RecoverySM (Turnkey RecoverySM) is exclusive to Members who schedule their fixed real property with TMLIRP and the coverages offered under their Property Policy. Administered by SynergyNDS, Turnkey RecoverySM supports individual Member's response & recovery directives using a more transparent approach to Project Management throughout the lifecycle of the restoration/repair project. More importantly, Turnkey RecoverySM supports contractors by reducing the "red-tape" and exposure often associated with public entity projects by streamlining the contracting and payment process. All approved Work Authorizations or IFB Contracts with eligible upfront material deposits and progress payments are paid direct by SynergyNDS to applicable contractors within defined terms/conditions. Contractors within Turnkey RecoverySM can be those identified by the Member's own procurement process, as well as those participating in the qualified Managed Vendor Program (MVPSM).

GENERAL CONTRACTOR EXPECTATIONS

Information contained throughout this document supports Turnkey RecoverySM expectations/requirements for a specified Work Authorization, or as necessary for subcontractor to provide a responsible IFB Response submittal. Where any conflicts arise from language outlined in this document in support of a specific Work Authorization or IFB Contract Award (which is inclusive of and incorporated into the Contractor's IFB Response submittal), the General Services Agreement between Contractor and SynergyNDS, or the IFB Contract Award becomes the guiding and controlling form.

1. Contractor shall be responsible for field verification of all conditions, dimensions & quantities associated with work prior to Work Authorization or Contractor IFB Response Submittal. Any Exhibits, Plans, Drawings &/or Other Supporting Documents that may be provided by SynergyNDS to Contractor are for general reference purposes only.
2. Contractor is responsible for identifying and satisfactorily addressing all applicable regulatory requirements, including but not limited to Codes & Standards, HUD/DBE Participation Goals & Guidelines and ADA/FHA Specifications.
3. Contractor shall indicate in writing and submit to SynergyNDS via email distribution to projects@synergynds.com any request or need for additional 3rd Party Assignment as necessary to further identify required codes & standards, scope specifications or public health safety concerns outside of Contractor's professional competence &/or licenses.

4. Contractor is to obtain their own permits and schedule all applicable inspections. Permits can be obtained by contacting the Building Department or other administering entity. Permit Fees are reimbursable directly from SynergyNDS (in addition to contractor's Lump Sum Proposal) if incurred and submitted with proper documentation.
5. Contractor shall prohibit discrimination against staff &/or available workforce based on their status as protected veterans or individuals with disabilities and prohibit discrimination against all individuals based on their race, color, religion, sex, sexual orientation, gender identity or national origin. Moreover, these regulations require that Contractor and its subcontractors take affirmative action to employ and advance in employment individuals without regard to race, color, religion, sex, sexual orientation, gender identity, national origin, protected veteran status or disability.
6. Contractor is required to be familiar with and follow all OSHA and State of Texas safety requirements, including OSHA form 300 Logs reporting requirements, if applicable.
7. Contractor shall independently implement a site-specific health and safety plan for each project to include hazard communication and related OSHA requirements to protect workers, building occupants, and the public who has access to the work area.
8. Prior to beginning work each day, Contractor is to independently hold jobsite safety meetings that review the work to be performed, the hazards involved with the work, and the acceptable methods for reducing and eliminating such hazards. Contractor shall maintain appropriate meeting records, including a Job Safety Analysis (JSA), or similar, that includes information from the daily jobsite safety meeting, including an attendee list, which shall be maintained by Contractor and available for SynergyNDS review at all times. Contractor shall be solely liable for any and all unsafe acts and/or safety violations associated with their employees.
9. Contractor shall require all employees to be familiar with job-specific hazard mitigation when performing the work, including but not limited to: slip, trip & fall protection, eye and ear protection, hand and foot protection, head protection, fire protection & prevention, confined space protection, employee thermal stress protection, etc.
10. Contractor is responsible for supplying and educating all on-site employees in the proper use of Personal Protective Equipment (PPE), including but not limited to: hard hat(s), safety glasses, face shields, ear plugs, gloves, boots, fall protection (where required), breathing protection (where required), tie off ropes/apparatuses/points (where required), fire extinguishers, first aid kits, etc.
11. Contractor is required to have the appropriate Material Safety Data Sheets (MSDS), and be able to provide to the Industrial Hygienist of record (for the project) for any products used during the performance of their work for which an MSDS is required, including, but not limited to, glues, cleaners, paints, solvents, anti-microbial products, sanitizing agents, etc. The Industrial Hygienist of record retains the right to restrict the use of any of the products selected for use on the project.
12. Contractor shall be responsible under terms of the Agreement for supplying all necessary labor, equipment, tools, materials and travel expense to complete the scope of work unless directed otherwise in the Work Authorization or IFB Contract Award. This includes, but is not limited to: Rental Equipment, Dumpsters, Storage Containers, Jobsite Trailer, General Conditions, Associated

Expenses, Travel Cost and Overhead & Profit which are to be included in the Work Authorization and/or IFB Contract Award.

13. Contractor shall protect all property from damage during the performance of work. This includes, but is not necessarily limited to: wall finishes, floor finishes, windows, electrical systems, mechanical systems, communication systems, life safety systems, security systems, HVAC control systems, plumbing systems, lighting systems, structurally related components, exterior elements, vegetation, property-of-others, etc.
14. Contractor shall be responsible for repair, replacement &/or cleaning of property damaged by employees, as well as any debris, coatings, coverings, overspray, or caulking residue located on any 3rd party property due to actions of Contractor employees. If affected property cannot be successfully cleaned &/or restored to pre-existing condition, SynergyNDS will seek reimbursement from Contractor &/or deduct the appropriate replacement cost from outstanding Invoice Payment (Contract Value).
15. Contractor shall be responsible for securing work area(s) from access by non-authorized building occupants, including all persons not directly part of the restoration, repair and/or rebuild efforts. This includes securing work area(s) as identified in the Work Authorization, IFB Scope-of-Work &/or under Contractor's control.
16. If the Contractor determines that deviations or modifications (change order or supplemental costs) from the initial Work Authorization or IFB Contract Award are required, Contractor shall submit a written request to SynergyNDS for review and approval prior to start of any additional work not otherwise included in initial Work Authorization or IFB Contract Award. The written request will contain, at a minimum:
 - a. Reason for deviation or modification
 - b. Description of deviation or modification
 - c. Project cost addition or subtraction for deviation or modification
 - d. Estimated time required for deviation or modification.
17. Contractor is NOT responsible for any conditions or activities implemented prior to their performance of work and/or arrival to the job site. During the performance of Contractor's work, if pre-existing damage to the building, structure, system failures or other anomalies is found, Contractor has the responsibility to identify, document and report these deficiencies immediately to SynergyNDS by email notification to projects@synergynds.com. Verbal notification &/or discussion with the onsite Project Manager is encouraged, but not required. Written documentation approved by SynergyNDS must be provided to ensure that pre-existing damages are not the responsibility of the Contractor and to maintain transparency with work performance.
18. Contractor represents that it has adequate and sufficient equipment in good working order and fully trained, licensed personnel capable of safely and efficiently operating such equipment and performing and/or providing (a) restoration &/or repair services work, including, but not limited to labor, supervision, tools, equipment, vehicles, transportation and machinery specific to Work Authorization/IFB Invitation and/or (b) materials, goods, supplies, or other products.
19. Contractor services and scope-of-work will be performed and provided in a good and workmanlike manner with strict adherence to general industry customs and specifications,

completed in a safe manner, and in accordance with all legally required and/or accepted codes and standards. The Services will follow customs and practices of workmanship within Contractor's trade, profession, craft or line of work.

20. Contractor is responsible for submitting all applicable project/contracting documents and progress updates in support of scope-of-work and invoicing to include, but not necessarily limited to any: Architectural Drawings, Work Scope Breakout & Description, Engineering or 3rd Party Reports, Certificates of Insurance, Change Order Requests, Warranty Info/Certificates or any written documentation with SynergyNDS that would otherwise change &/or modify the Work Authorization or IFB Contract.
21. Contractor agrees to provide a workmanship warranty, with a 12-month period of correction from the date that work performed by the Contractor is completed. Contractor will be responsible for remedying any patent or latent defects related to their work performance in accordance with the rules prescribed under Texas Construction Law. For patent defects, SynergyNDS will notify Contractor verbally, or in writing, and Contractor will make a best effort to remedy to the satisfaction of SynergyNDS within 1-5 business days. For latent defects, SynergyNDS will notify Contractor in writing and allow Contractor up to 10 business days to review the defect. SynergyNDS and Contractor will then develop a remediation plan to resolve the latent defect to the satisfaction of SynergyNDS.

PAYMENT: Project is managed by SynergyNDS under the TMLIRP Turnkey RecoverySM Program. Payments will be made by SynergyNDS directly to the Contractor in accordance with terms & conditions described in the Work Authorization or IFB Contract Award. Qualified contractors may be eligible for an upfront material deposit or progress payments as determined prior to work performance. **Contractor must be registered in the MVP (Managed Vendor Program) whereby required contractor documents must be uploaded to the database. There is annual \$49.95 processing and maintenance fee as part of the initial contractor vetting and background check.**

PAYMENT TERMS: Payments will be made after inspection and approval of work by SynergyNDS, TMLIRP Member Building Official &/or TMLIRP Desk Adjuster. Accurate invoices and required project documentation must be submitted to SynergyNDS for project review and/or audit prior to payment. Contractor will provide all applicable product warranty documentation or certification prior to release of final payment. *Material Deposits &/or Advanced Payments require Contractor to complete online registration in the Managed Vendor Program (MVP).

INSURANCE & LICENSING SUMMARY: Before starting work, the Contractor will provide SynergyNDS at minimum, proof of Worker's Compensation and General Liability Insurance. The Contractor must be licensed to do business in the State of Texas, as well as hold whatever specific trade licenses to perform and/or oversee such work in the State of Texas. In some cases, Professional Liability insurance will also be required. SynergyNDS must be named as an additional insured on all liability insurance certificates. Contractor will need to go to www.synergynds.com/MVP and complete the initial registration for the Managed Vendor Program (MVP).

The certificate holder(s) must be noted as:

Synergy NDS, Inc.
1400 Sarno Rd, Melbourne, FL 32935

INSURANCE & LICENSING REQUIREMENTS: Contractor will be required to upload in the MVP Contractor Profile the following information (when applicable) prior to contract award and eligible material deposits.

- a) Workers Compensation Insurance Certificate for all employees engaged in work at the site, in accordance with State or Territorial Worker's Compensation Laws.
- b) General Liability Insurance Certificate with bodily injury and property damage limits at a combined single limit of at least \$500,000 in order to protect the contractor and SynergyNDS against claims for injury or death of one or more persons.
- c) Automobile Liability Certificate on owned and non-owned motor vehicles used on the site(s), or in connection with the sites, for a combined single limit for bodily injury and property damages of not less than \$500,000.00 per occurrence.
- d) Professional Liability Certificate with \$1,000,000 per occurrence (if applicable).

Contractor will not allow any required insurance coverage to lapse, and will provide SynergyNDS with updated Certificates of Insurance, as necessary. All policies must provide at least thirty (30) days' notice of cancellation will be given to SynergyNDS. All Contractor employees &/or subcontractors are bound by the Insurance Requirement. **Contractor is the sole responsible party for all its Employee &/or Subcontractor infractions, accidents, damages, and all general and professional liability concerns that occur, whether directly or indirectly, as related to Work performed by Contractor or subcontractors under the control of Contractor.**

CONTRACT IMPLEMENTATION: Work Authorization or IFB Contract Award will be initiated upon review and comparative analysis of all bids &/or proposals received by SynergyNDS, and in some cases the TMLIRP Member, in accordance with a defined Procurement Process. Notification of Intent-to-Contract with Contractor will be engaged upon written notification by SynergyNDS and contractor signed/returned General Services Agreement Form. Contract-in-Full will be awarded upon receipt by SynergyNDS of all required contracting documentation, including but not limited to:

- a) Performance Bond &/or Payment Bond (when required)
- b) Certificate of General Liability Insurance
- c) Certificate of Auto Insurance
- d) Certificate of Worker's Compensation or Letter of Exemption
- e) Contractor's W-9
- f) State License Documentation

Further description of insurance requirements is listed in the General Services Agreement. No material deposits &/or payments will be made to Contractor until all required documentation has been received.

RIMKUS.NET\SHARES\OFFICES\STRUCTURAL ENGINEERING SERVICES\US\OPEN\DOB8100207901\PHASE 2\DESIGN\01\00207901 - GEORGETOWN HOUSING AUTH.DWG

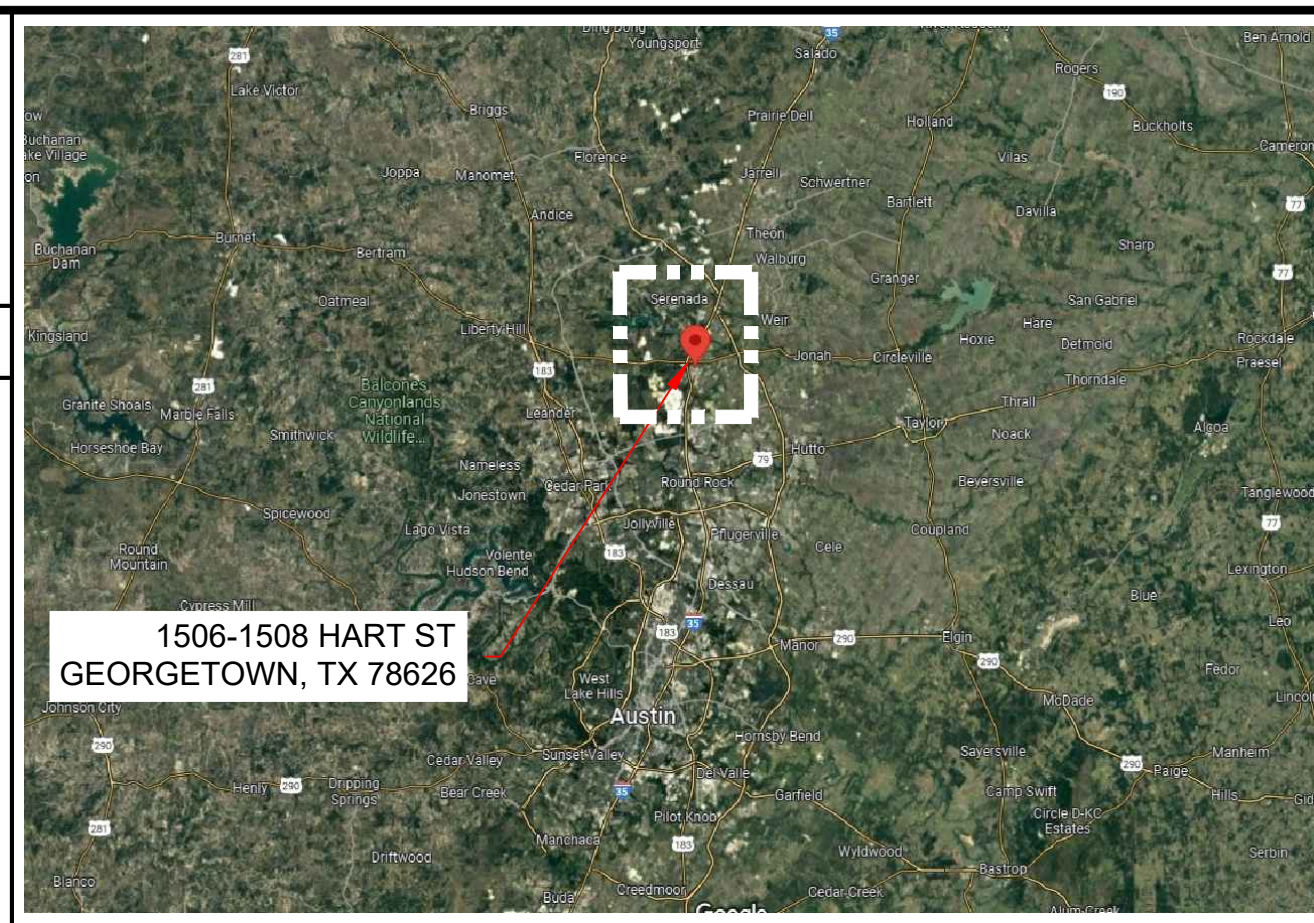
REPAIR DRAWINGS FOR GEORGETOWN HOUSING AUTHORITY

1506-1508 HART STREET
GEORGETOWN, TX 78626

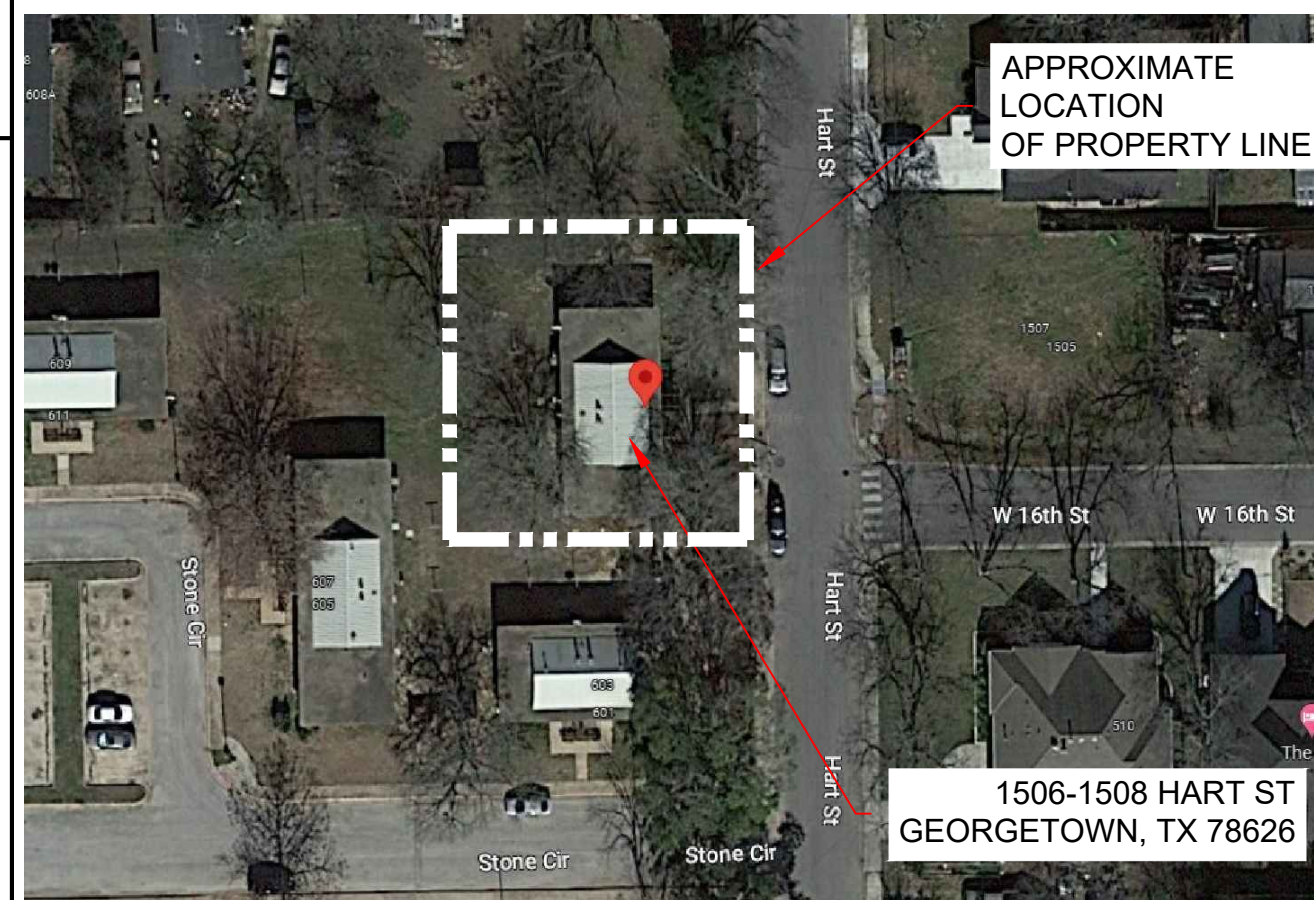
DRAWING LIST	REVISION	DRAWING LIST	REVISION
G000	DRAWING LIST, PROJECT SCOPE, DESIGN CRITERIA	-	-
A101	FLOOR AND ROOF PLAN	-	-
A201	ELEVATIONS	-	-
A501	WINDOW DETAILS	-	-
A502	ARCHITECTURAL DETAILS	-	-
S001	STRUCTURAL NOTES	-	-
S101	STRUCTURAL PLANS	-	-
S601	STRUCTURAL SCHEDULE	-	-
E101	ELECTRICAL LAYOUT PLAN	-	-

BUILDING DATA	
ADDRESS:	1506-1508 HART ST GEORGETOWN, TX, 78626
PARCEL:	R089889
BUILDING AREA:	1,660 SQFT
STORIES:	1
USE GROUP:	C-1
CONSTR. TYPE:	VB
RISK CATEGORY:	II

DESIGN CODE CRITERIA	
1. CONSTRUCTION SHALL FOLLOW THE REQUIREMENTS OF THE FOLLOWING CODES AND AMENDMENTS AS ADOPTED BY THE STATE OF TEXAS AND CITY OF GEORGETOWN: 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH LOCAL BUILDING CODE AMENDMENTS, 2015 INTERNATIONAL EXISTING BUILDING CODE (IEBC)	
2. DESIGN LOAD CRITERIA:	
ROOF DEAD LOAD	12 PSF
ROOF LIVE LOAD	20 PSF
FLOOR DEAD LOAD	15 PSF
FLOOR LIVE LOAD	40 PSF
WIND:	
BASIC WIND SPEED - 3 SEC GUST (ULT)	108 MPH
BASIC WIND SPEED - 3 SEC GUST (ASD)	84 MPH
TOPOGRAPHIC FACTOR (Kzt)	1.0
EXPOSURE CATEGORY	"C"
ENCLOSURE CLASSIFICATION	ENCLOSED
Gcpi	+/- 0.18
SEISMIC:	
SEISMIC OCCUPANCY CATEGORY	"II"
SEISMIC IMPORTANCE FACTOR (Ie)	1.0
REDUNDANCY FACTOR, RHO (N-S)	1.0
REDUNDANCY FACTOR, RHO (E-W)	1.0
MAPPED SPECTRAL RESPONSE ACCELERATIONS:	
S _s	0.052g
S ₁	0.030g
SITE CLASS	
"D"	
SPECTRAL RESPONSE COEFFICIENTS:	
S _{DS}	0.055g
S _{D1}	0.048g
SEISMIC DESIGN CATEGORY	"A"
RESPONSE MODIFICATION FACTOR, R	6.5
SEISMIC FORCE RESISTANCE SYSTEM:	
WOOD PANEL SHEAR WALLS	
ANALYSIS PROCEDURE:	
EQUIVALENT LATERAL FORCE	
SEISMIC RESPONSE COEFFICIENT (Cs)	0.009



1 VICINITY PLAN
SCALE: NTS



2 SCHEMATIC SITE PLAN
SCALE: NTS

PROJECT SCOPE	
1.	THE INTENT OF THESE DRAWINGS IS TO REPAIR EXISTING DECKING FOR SUNROOM INSTALLATION.
2.	THE DRAWINGS DETAIL THE SCOPE OF STRUCTURAL AND ARCHITECTURAL WORK.
3.	THERE ARE NO ADDITIONS OR RECONFIGURATIONS OF THE EXISTING FLOOR PLAN.
4.	THE FOLLOWING STRUCTURAL MEMBERS WERE DAMAGED DUE TO THE VEHICLE IMPACT AT THE DUPLEX BASED ON READILY OBSERVED CONDITIONS: <ul style="list-style-type: none"> A. APPROXIMATELY 25 LINEAR FEET OF 2X4 BY 8-FOOT-TALL WALLS, INCLUDING HEADERS FOR FOUR WINDOW AND DOOR UNITS.
5.	THE CONCRETE SLAB-ON-GRADE FOUNDATION WAS NOT DAMAGED BY THE VEHICLE IMPACT.
6.	THE FOLLOWING NON-STRUCTURAL ITEMS WILL BE REQUIRED TO BE REPAIRED DUE TO THE VEHICLE IMPACT: A. APPROXIMATELY 300 SQUARE FEET OF EXTERIOR SIDING WAS DAMAGED DUE TO THE VEHICLE IMPACT. <ul style="list-style-type: none"> A. INTERIOR DRYWALL AND/OR WOOD FINISH MATERIALS, INCLUDING THE FLOORING, THAT WERE DAMAGED BY THE VEHICLE IMPACT WERE LIMITED TO THE LIVING ROOM AREAS OF BOTH UNITS. B. FRONT DOORS AND WINDOWS IN THE LIVING ROOM, AS WELL AS THE GLAZING ON THE LEFT WALL OF THE FRONT BEDROOM OF UNIT 1506. C. ELECTRICAL WIRING, SWITCHES, AND FIXTURES SHALL BE REMOVED WITH LIKE AND KIND MATERIALS IN THE LIVING ROOMS OF BOTH UNITS. D. THE DAMAGED EXTERIOR STACKED STONE WALL ON THE FRONT SIDE OF THE DUPLEX SHALL BE REPLACED WITH A WOOD-FRAMED WALL ANCHORED TO THE FOUNDATION AND ROOF FRAMING WITH A THINSET BRICK VENEER TO MATCH THE APPEARANCE OF THE ORIGINAL STACKED STONE.
7.	THE DECORATIVE EXTERIOR WOOD FRAMING AT UNIT 1508 WAS NOT DAMAGED DUE TO THE VEHICLE IMPACT BUT SHALL BE REMOVED AND REPLACED DUE TO LONG-TERM DETERIORATION.
8.	AT THE TIME OF OUR SITE VISIT, THERE WAS NO REPORTED OR OBSERVED DAMAGE TO THE PLUMBING AND MECHANICAL SYSTEMS AT THE SUBJECT PROPERTY.
9.	WE RECOMMEND THE REMOVAL AND REPLACEMENT OF THE LOW-SLOPE ROOFING OVER THE 1508 UNIT.

SYMBOLS

COLUMN LINE GRID INDICATOR

ALPHABETIC IN SEQUENCE: A, B

COLUMN LINE ID: 1, 2

NUMERIC IN SEQUENCE: 1, 2

DOOR OPENING IDENTIFIER

1 DOOR ID (NUMBER)

EQUIPMENT IDENTIFIER

X EQUIPMENT ID

ROOM IDENTIFICATION

XXXX ROOM NAME

XXXX ROOM NUMBER

WALL TYPE IDENTIFIER

XX WALL TYPE ID

WINDOW IDENTIFIER

XX WINDOW TYPE ID

SLOPE IDENTIFIER

1/12 SLOPE ID

Or

1:12 DOWN OR UP

GENERAL SYMBOLS

& AND

@ AT

CL CENTER LINE

NUMBER

Ø DIAMETER

% PERCENT

= EQUAL TO

> GREATER THAN

< LESS THAN

≥ GREATER THAN OR EQUAL TO

≤ LESS THAN OR EQUAL TO

PL PROPERTY LINE

PER PER

SE STATION EQUIPMENT BREAKLINE

EA ELEVATION POINT ALIGN

ABBREVIATIONS

ADDL ADDITIONAL

BTWN BETWEEN

DBL DOUBLE

EA EACH

EJ EXPANSION JOINT

E EXISTING

FV FIELD VERIFY INFORMATION

IN INFORMATION

KSI KIPS PER INCH

MAX MAXIMUM

MIN MINIMUM

N NEW

NTS NOT TO SCALE

O.C. ON CENTER

PL PLATE

PSI POUNDS PER SQUARE INCH

PSF POUNDS PER SQUARE FOOT

PT PRESERVATIVE (PRESSURE) TREATED

R&R REMOVE AND REPLACE

REQD REQUIRED

SIM SIMILAR

STL STEEL

TA TRIBUTARY AREA

TS TUBE STEEL

UNO UNLESS NOTED OTHERWISE

VIF VERIFY IN FIELD

W/ WITH

WS WOOD SCREW

Project North

NORTH ARROW

REFERENCE BOUNDARY

4 DETAIL DESIGNATION (NUMBER)

S103 DRAWING NUMBER OF THE SHEET WHERE THE DETAIL IS SHOWN

DETAIL REFERENCE

1 1ST FLOOR PLAN

SCALE: 1/8"=1'-0"

PLAN/DETAIL NAME

SCALE

PLAN/DETAIL IDENTIFIER

SECTION DESIGNATION (LETTER)

A S103 DRAWING NUMBER OF THE SHEET WHERE THE DETAIL IS SHOWN

SECTION IDENTIFIER

ELEVATION ORIENTATION

1 S101 DRAWING NUMBER OF THE SHEET WHERE THE DETAIL IS SHOWN

EXTERIOR ELEVATION IDENTIFIER

REVISION IDENTIFIER

ELEVATION IDENTIFICATION

T.O. 0'-0"

GENERAL NOTES	
1.	CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ACCESSIBILITY PRIOR TO BEGINNING WORK. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ARCHITECT/ENGINEER. ANY NECESSARY ADJUSTMENTS SHALL BE MADE PER PROJECT ARCHITECT/ENGINEER'S WRITTEN DIRECTION
2.	ALL DESIGN CHANGES SHALL BE SUBMITTED IN WRITING FOR REVIEW BY THE PROJECT ARCHITECT/ENGINEER
3.	ALL WRITTEN DIMENSIONS PER PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS
4.	CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES INVOLVED
5.	CONSTRUCTION DETAILS AND FEATURES SHOWN ON DRAWINGS ARE TYPICAL AND SHALL BE APPLIED GENERALLY THROUGHOUT THE ENTIRE PROJECT AT SIMILAR CONDITIONS
6.	NOTES AND DETAILS LABELED AS TYPICAL, IF INCLUDED, SHALL BE USED UNLESS SPECIFIC NOTES AND DETAILS ARE SHOWN ELSEWHERE WHERE THEY ARE TO BE APPLIED
7.	ALL MATERIALS SHOWN OR CALLED FOR ON THESE PLANS SHALL BE INSTALLED PER MANUFACTURERS WRITTEN/PRINTED RECOMMENDATIONS AND SPECIFICATIONS
8.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FOR THE PROPOSED WORK
9.	THE COORDINATION OF ALL REQUIRED BUILDING DEPARTMENT INSPECTION IS THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAKE EVERY EFFORT THROUGH PROPER AND TIMELY NOTIFICATION TO ENSURE THE REPAIRS ARE COMPLETED WITH MINIMAL DELAY FOR INSPECTIONS
10.	THE GENERAL CONTRACTOR SHALL DETERMINE FROM THE LOCAL BUILDING AUTHORITY, AT THE TIME THE BUILDING PERMIT IS OBTAINED, WHETHER LETTERS OF CONSTRUCTION COMPLIANCE WILL BE REQUESTED FROM THE ARCHITECT/STRUCTURAL ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/STRUCTURAL ENGINEER OF ALL SUCH REQUIREMENTS PRIOR TO THE START OF CONSTRUCTION. FOUR DAY ADVANCE NOTICE SHALL BE GIVEN WHEN REQUESTING SITE VISITS NECESSARY AS THE BASIS FOR THE COMPLIANCE LETTER. THE GENERAL CONTRACTOR SHALL PROVIDE COPIES OF ALL THIRD PARTY TESTING AND INSPECTION REPORTS TO THE ARCHITECT/STRUCTURAL ENGINEER A MINIMUM OF ONE WEEK PRIOR TO THE DATE THAT THE COMPLIANCE LETTERS ARE NEEDED
11.	THE STRUCTURE HAS BEEN DESIGNED TO RESIST VERTICAL AND LATERAL FORCES AFTER THE CONSTRUCTION OF ALL STRUCTURAL ELEMENTS HAVE BEEN COMPLETED. STABILITY OF THE STRUCTURE PRIOR TO COMPLETION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO JOB SITE SAFETY ERECTION MEANS, METHODS AND SEQUENCES. TEMPORARY SHORING, FORMWORK AND BRACING AND USE OF EQUIPMENT AND CONSTRUCTION PROCEDURES
12.	ALL DIMENSIONS INDICATED ON DRAWINGS ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY

NOTES:	
NO.	REVISED FOR:
1.	
2.	
3.	
4.	
5.	
6.	
7.	

8200 Cameron Road, Suite C-140
Austin, TX 78754 | F-1545
RDINJAR@RIMKUS.COM
(800) 580-3228 | (512) 795-0811

SEAL:

NO. ISSUED FOR:		DATE (Y-M-D):	
1.	PERMIT		2023-5-12
2.			
3.			
4.			
5.			
6.			
7.			

PROJECT:

**REPAIR DRAWINGS FOR
GEORGETOWN HOUSING AUTHORITY
1506-1508 HART STREET
GEORGETOWN, TX 78626**

CLIENT:

**SYNERGY NDS, INC
1400 SARNO ROAD
MELBOURNE, FL 32935**

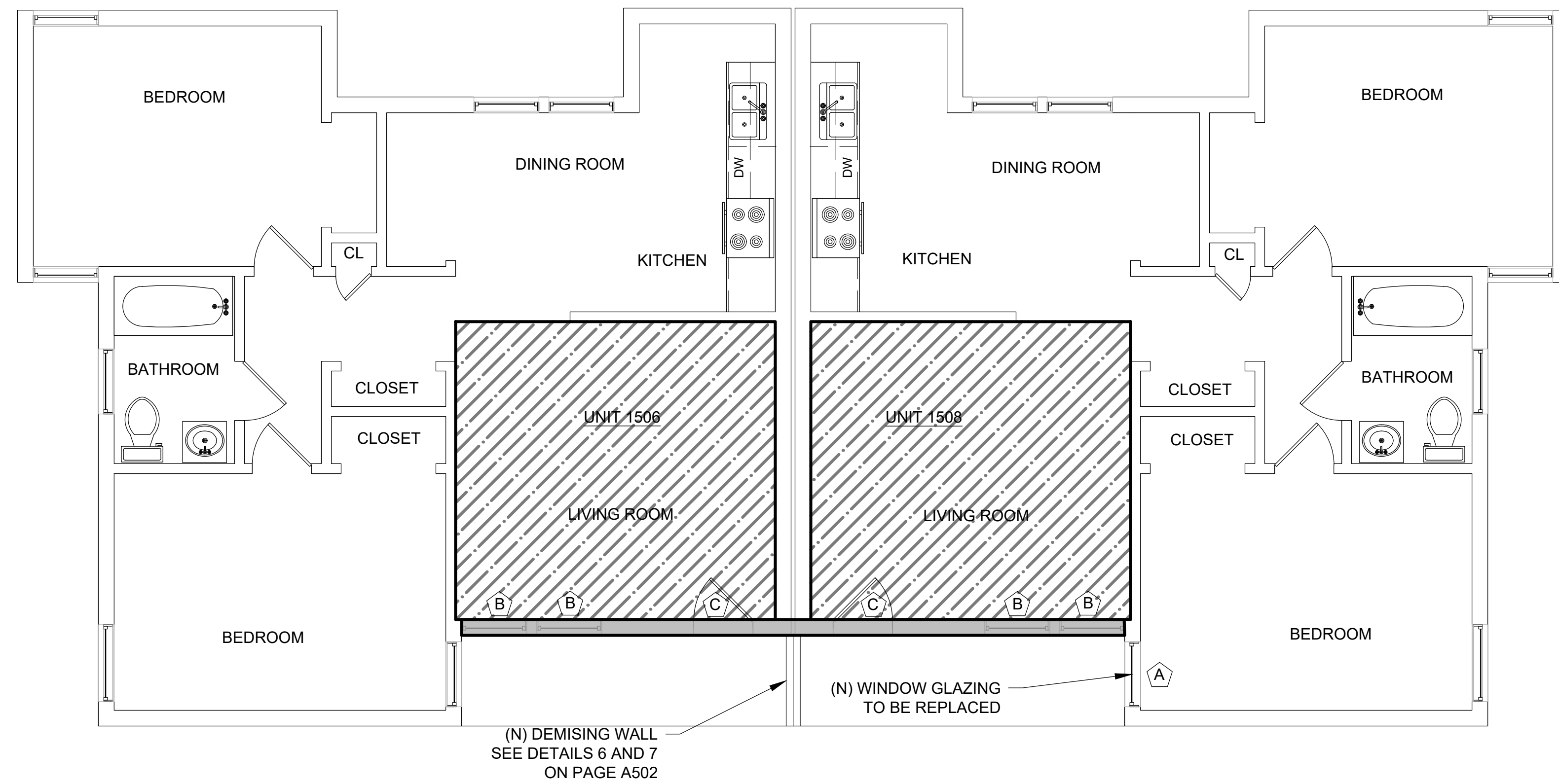
SHEET TITLE:

**DRAWING LIST,
PROJECT SCOPE,
DESIGN CRITERIA**

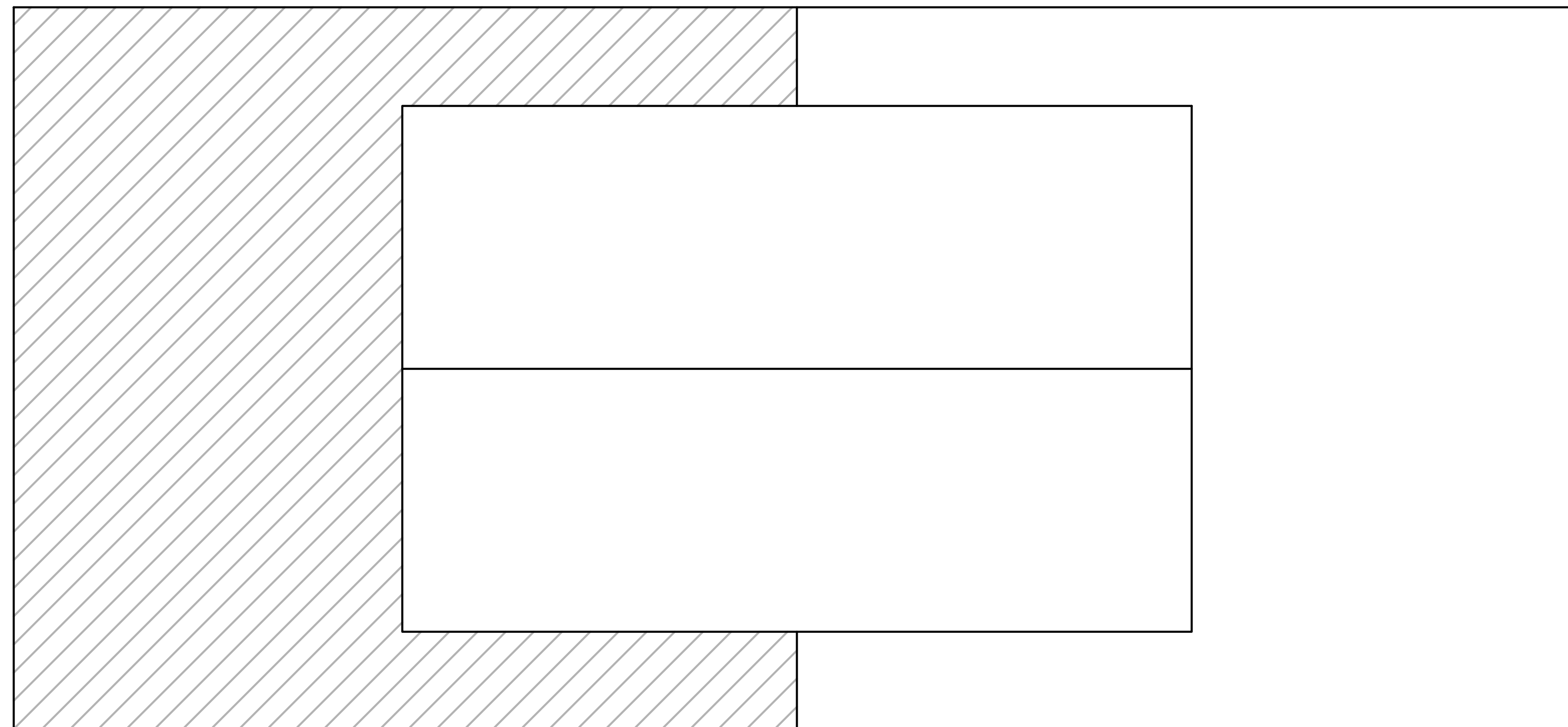
FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO:	100207901
DATE (Y-M-D):	2023-05-12
SCALE:	AS NOTED
DESIGNED BY:	RIMKUS
DRAWN BY:	REP
CHECKED BY:	RJD/CJP
DRAWING NO:	G000
SHEET NO:	1 OF 9

RIMKUS.NET\SHARES\OFFICES\STRUCTURAL ENGINEERING SERVICES\US\OPEN\DOB\100207901\PHASE 2\DESIGN\CAD\100207901 - GEORGETOWN HOUSING AUTH.DWG



1 FLOOR PLAN
SCALE: 1/4"=1'-0"



2 ROOF PLAN
SCALE: 1/4"=1'-0"

REPAIR KEY

INDICATES NEW 2x4 STUDS @ 16" O.C.
EXTERIOR WALLS: 5/8" FIRECODE DRYWALL INT. SIDE & EXTERIOR PLYWOOD SHEATHING PER S DWGS EXT. SIDE

(N) WALL FINISHES AND TRIM
(N) WALL/CEILING INSULATION
(N) EXTERIOR DOOR & INTERIOR DOORS AND TRIM
(N) WINDOWS & TRIM
(N) ELECTRICAL FIXTURES

INTERIOR WALLS: 5/8" FIRECODE DRYWALL

(N) FLOOR FINISHES
(N) PAINT ON ALL LIVING ROOM WALLS TO MATCH EXISTING
(N) WALL TRIM

NOTE:
ALL MATERIALS BEING REPLACED SHALL BE REPLACED WITH MATERIALS OF LIKE KIND DESIGN, FINISH & QUALITY.

INDICATES NEW SELF-ADHERED MODIFIED BITUMEN MEMBRANE AND WATER PROOF UNDERLAYMENT SELECTED BY CONTRACTOR TO MATCH EXISTING CONDITION. CONTACT EOR FOR APPROVAL. SEE 5/S502 FOR DETAIL.

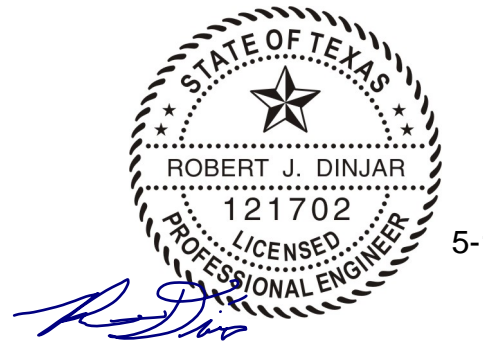
NOTES:

NO.	REVISED FOR:	DATE (Y-M-D):
1.		
2.		
3.		
4.		
5.		
6.		
7.		



8200 Cameron Road, Suite C-140
Austin, TX 78754 | F-1545
RDINJAR@RIMKUS.COM
(800) 580-3228 | (512) 795-0811

SEAL:



NO.	ISSUED FOR:	DATE (Y-M-D):
1.	PERMIT	2023-5-12
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:
REPAIR DRAWINGS FOR
GEORGETOWN HOUSING AUTHORITY
1506-1508 HART STREET
GEORGETOWN, TX 78626

CLIENT:
SYNERGY NDS, INC
1400 SARNO ROAD
MELBOURNE, FL 32935

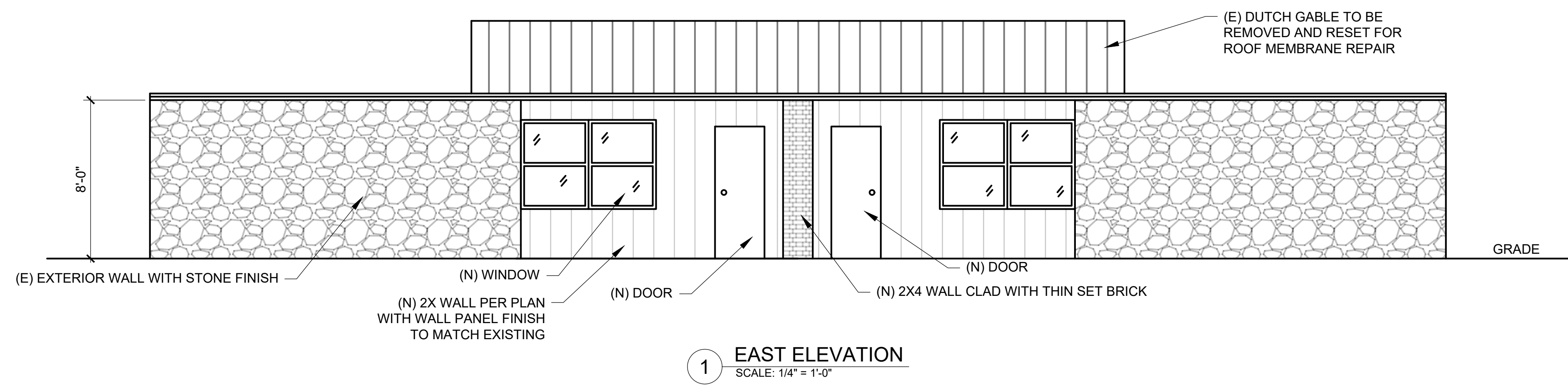
SHEET TITLE:
FLOOR AND ROOF PLAN

FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

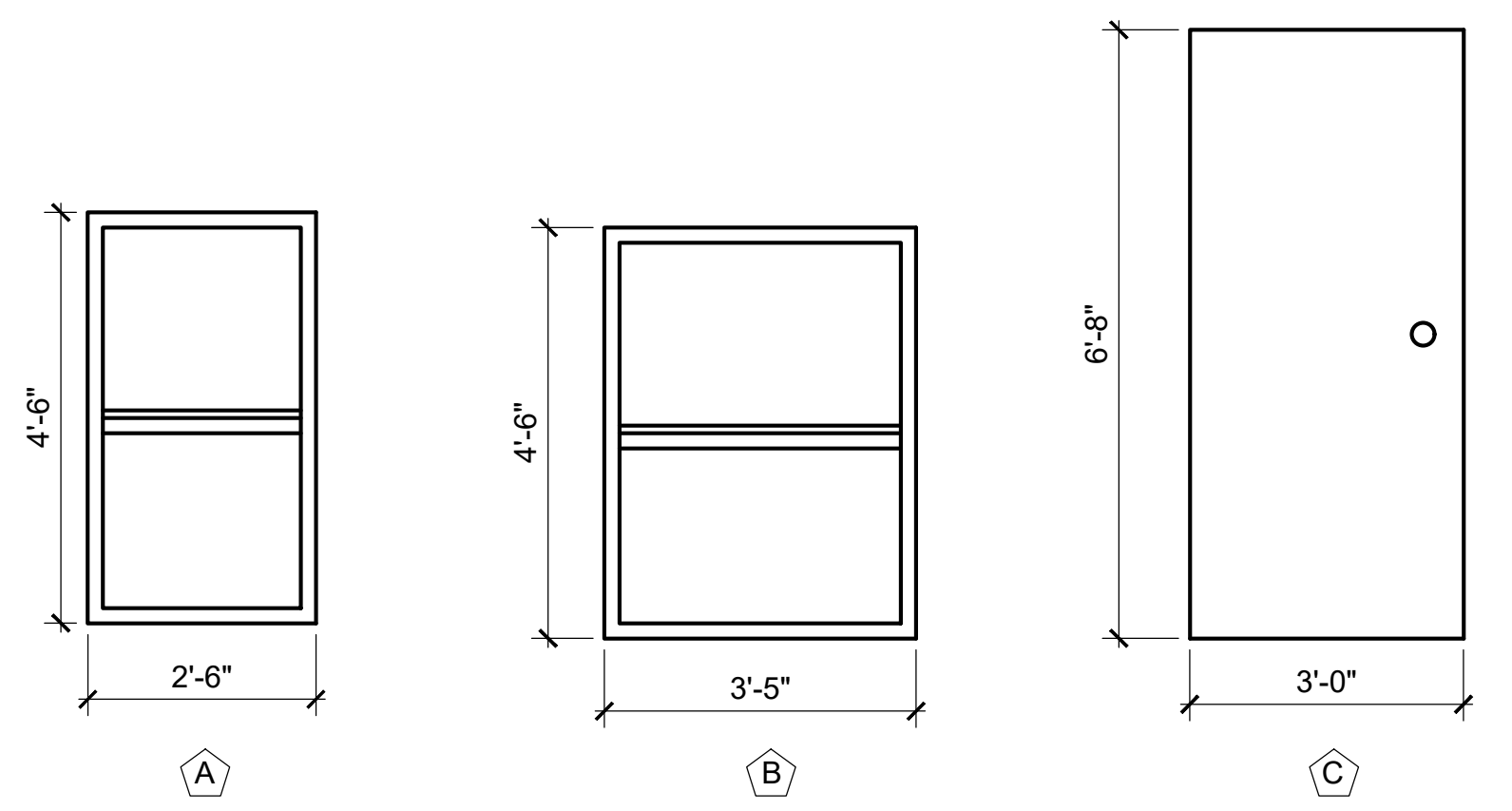
PROJECT NO: 100207901
DATE (Y-M-D): 2023-05-12
SCALE: 1/4" = 1'-0"
DESIGNED BY: RIMKUS
DRAWN BY: REP
CHECKED BY: RJD/CJP

DRAWING NO:
A101

SHEET NO: 3 OF 9



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 DOOR AND WINDOW ELEVATION
SCALE: 1/2" = 1'-0"

NOTES:

NO.	REVISED FOR:	DATE (Y-M-D):
1.		
2.		
3.		
4.		
5.		
6.		
7.		

RIMKUS
 8200 Cameron Road, Suite C-140
 Austin, TX 78754 | F-1545
 RDINJAR@RIMKUS.COM
 (800) 580-3228 | (512) 795-0811

SEAL:

NO.	ISSUED FOR:	DATE (Y-M-D):
1.	PERMIT	2023-5-12
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:
 REPAIR DRAWINGS FOR
 GEORGETOWN HOUSING AUTHORITY
 1506-1508 HART STREET
 GEORGETOWN, TX 78626

CLIENT:
 SYNERGY NDS, INC
 1400 SARNO ROAD
 MELBOURNE, FL 32935

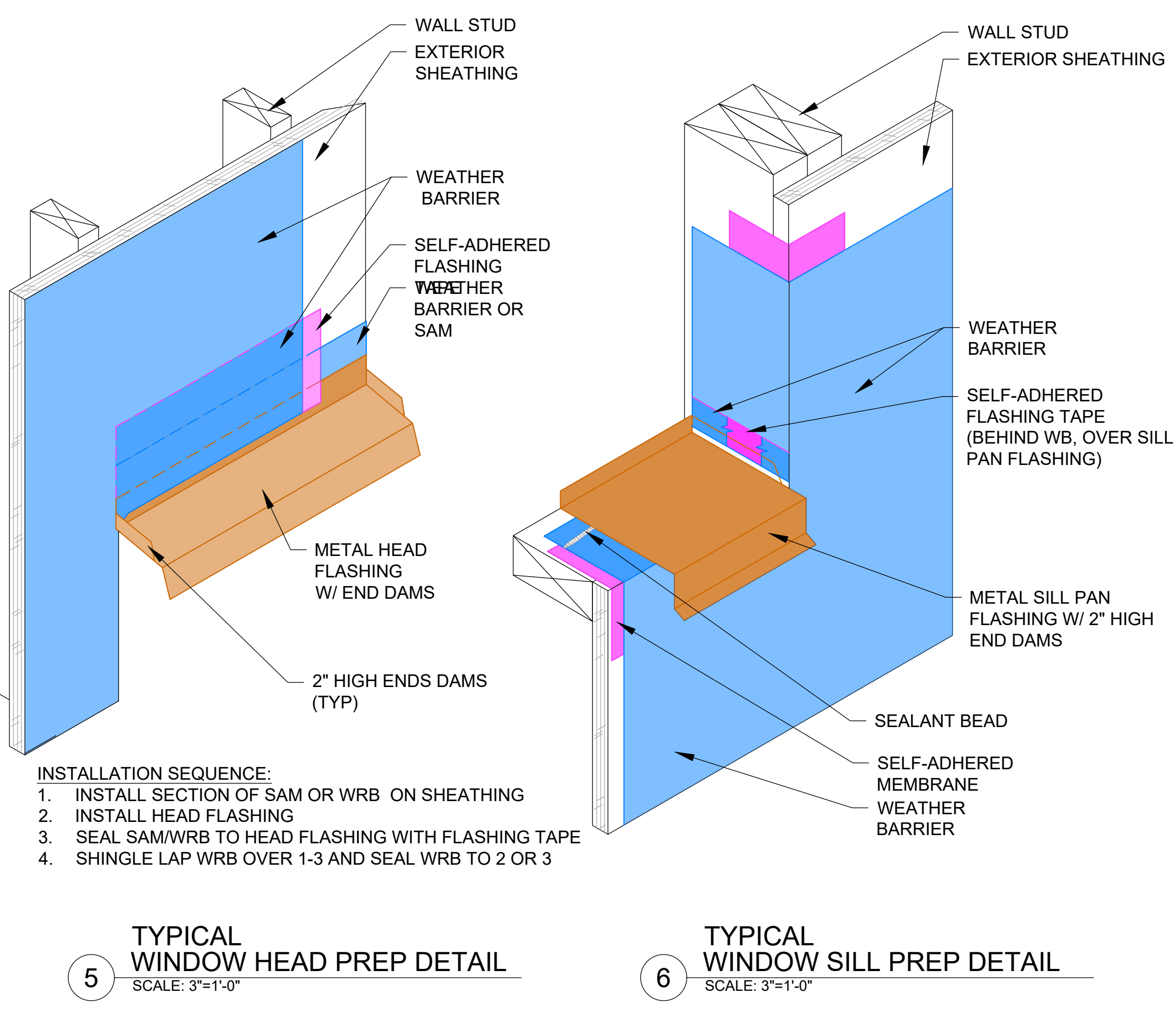
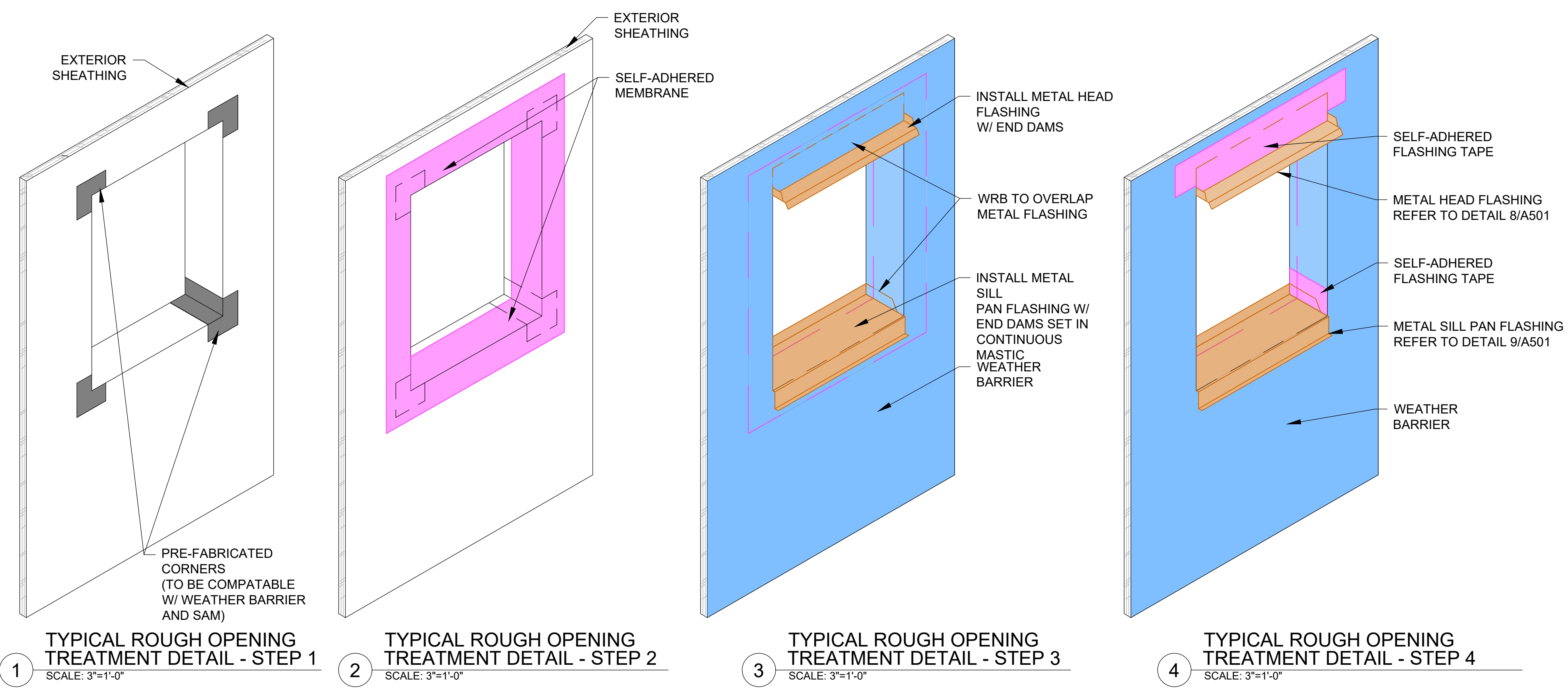
SHEET TITLE:
ELEVATIONS

FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO:	100207901
DATE (Y-M-D):	2023-05-12
SCALE:	AS SHOWN
DESIGNED BY:	RIMKUS
DRAWN BY:	REP
CHECKED BY:	RJD/CJP

DRAWING NO:
A201

RIMKUS NETWORKS/STRUCTURAL ENGINEERING SERVICES US/OPEN/DOB/100207901/PHASE 2/DESIGN/01/100207901 - GEORGETOWN HOUSING AUTH.DWG



- INSTALLATION SEQUENCE:**
1. INSTALL SECTION OF SAM OR WRB ON SHEATHING
 2. INSTALL HEAD FLASHING
 3. SEAL SAM/WRB TO HEAD FLASHING WITH FLASHING TAPE
 4. SHINGLE LAP WRB OVER 1-3 AND SEAL WRB TO 2 OR 3

NOTES:

NO.	REVISED FOR:	DATE (Y-M-D):
1.		
2.		
3.		
4.		
5.		
6.		
7.		

RIMKUS

8200 Cameron Road, Suite C-140
Austin, TX 78754 | F-1545
RDINJAR@RIMKUS.COM
(800) 580-3228 | (512) 795-0811

SEAL:

NO.	ISSUED FOR:	DATE (Y-M-D):
1.	PERMIT	2023-5-12
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:
REPAIR DRAWINGS FOR GEORGETOWN HOUSING AUTHORITY
1506-1508 HART STREET
GEORGETOWN, TX 78626

CLIENT:
SYNERGY NDS, INC
1400 SARNO ROAD
MELBOURNE, FL 32935

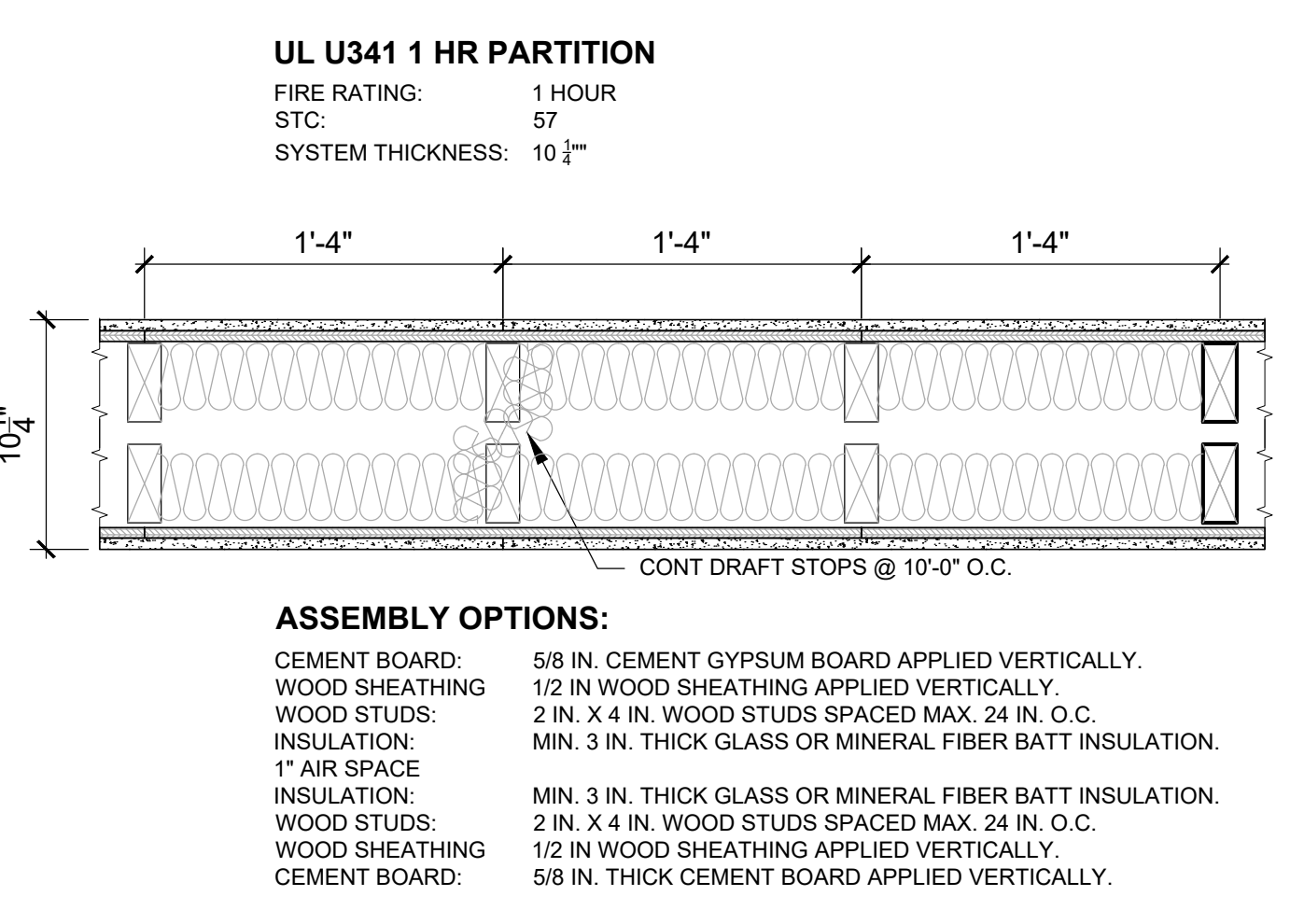
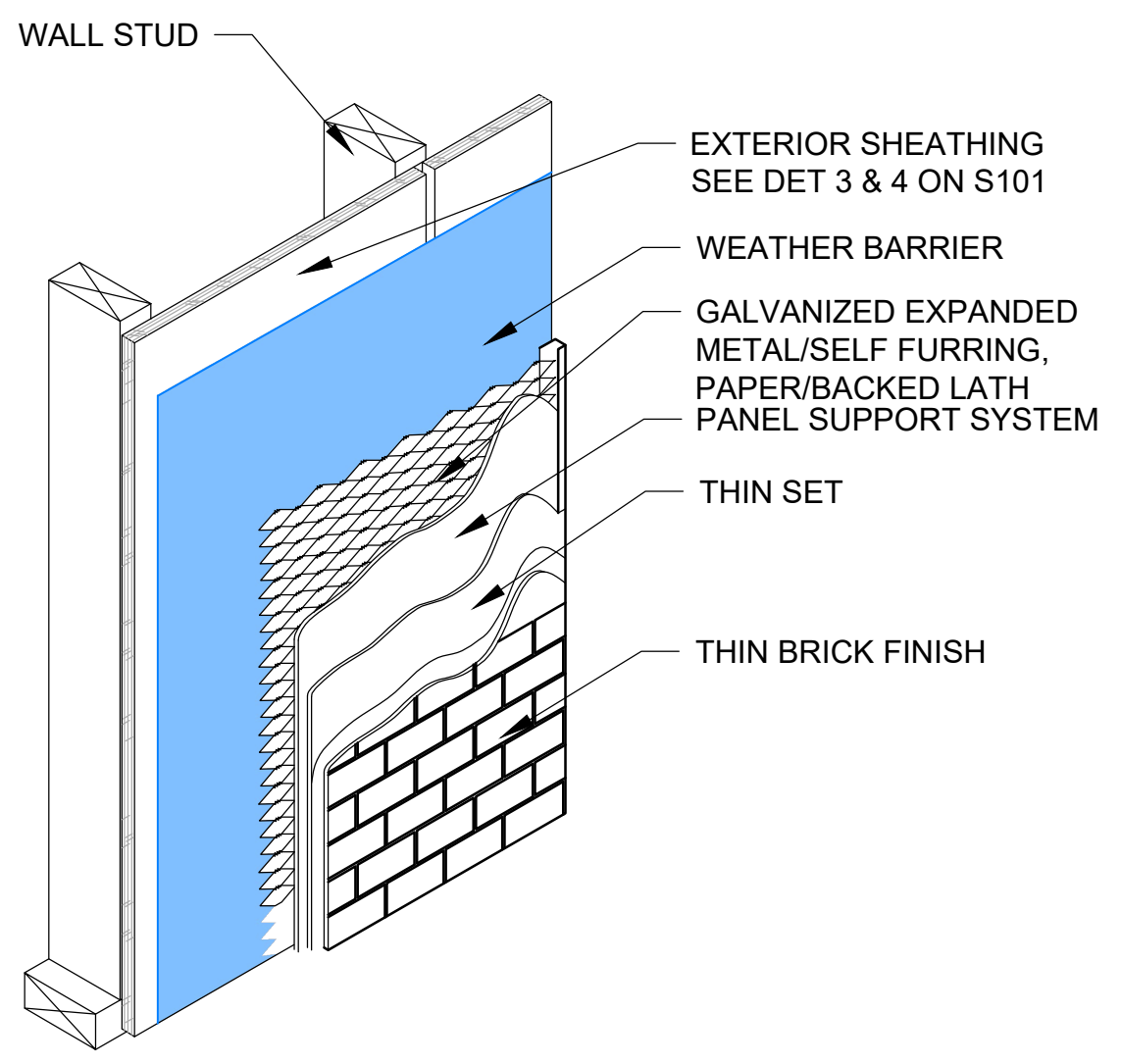
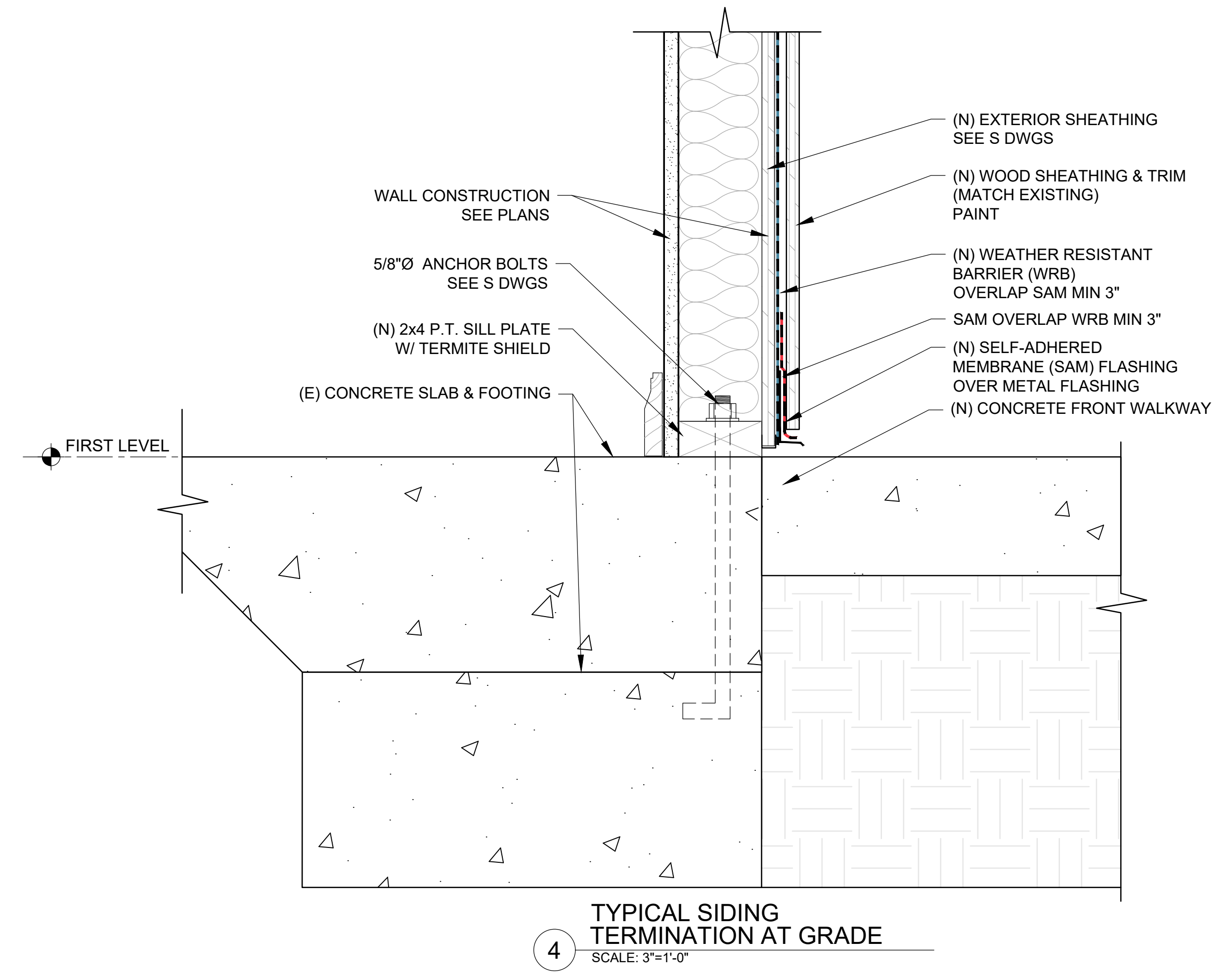
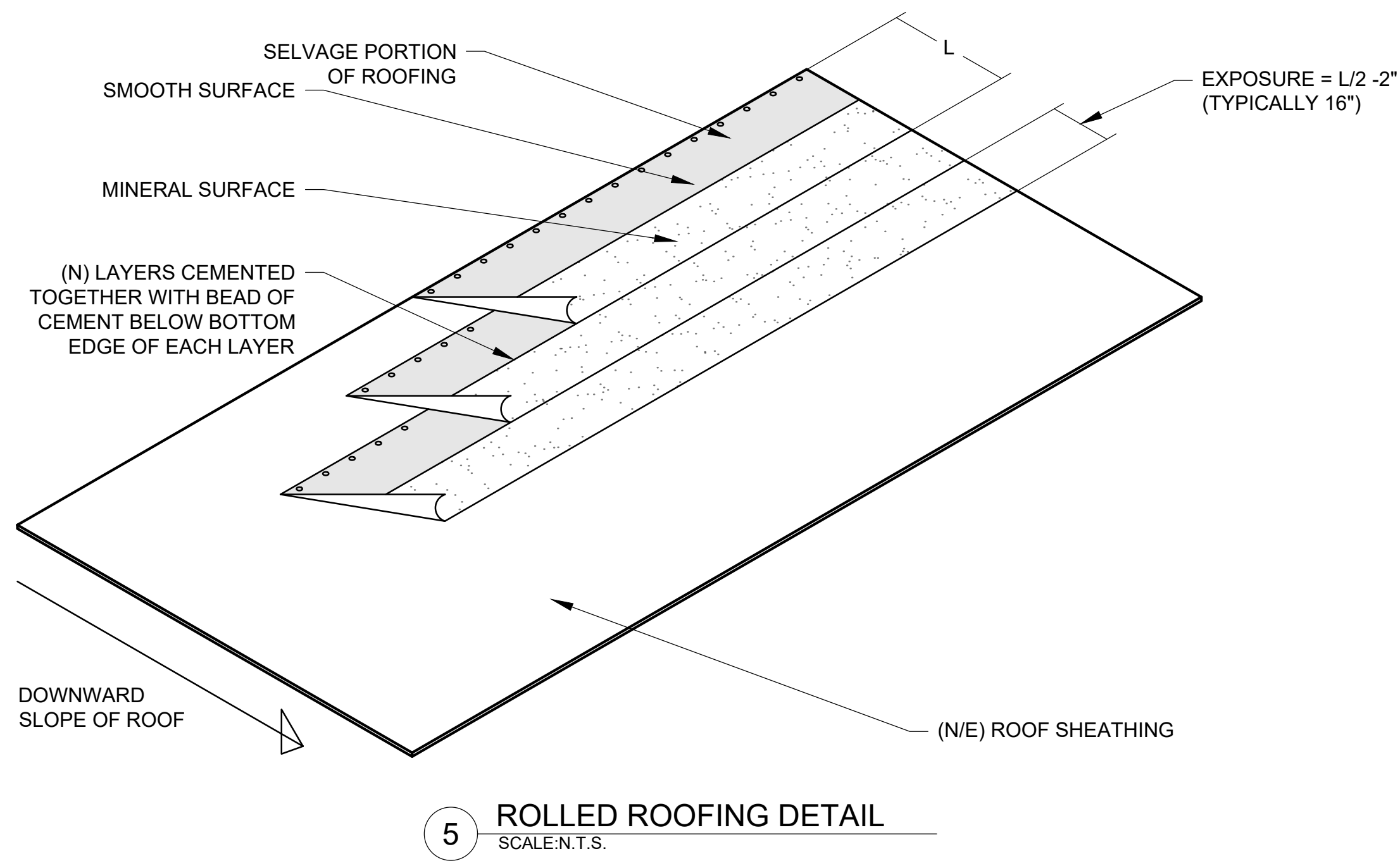
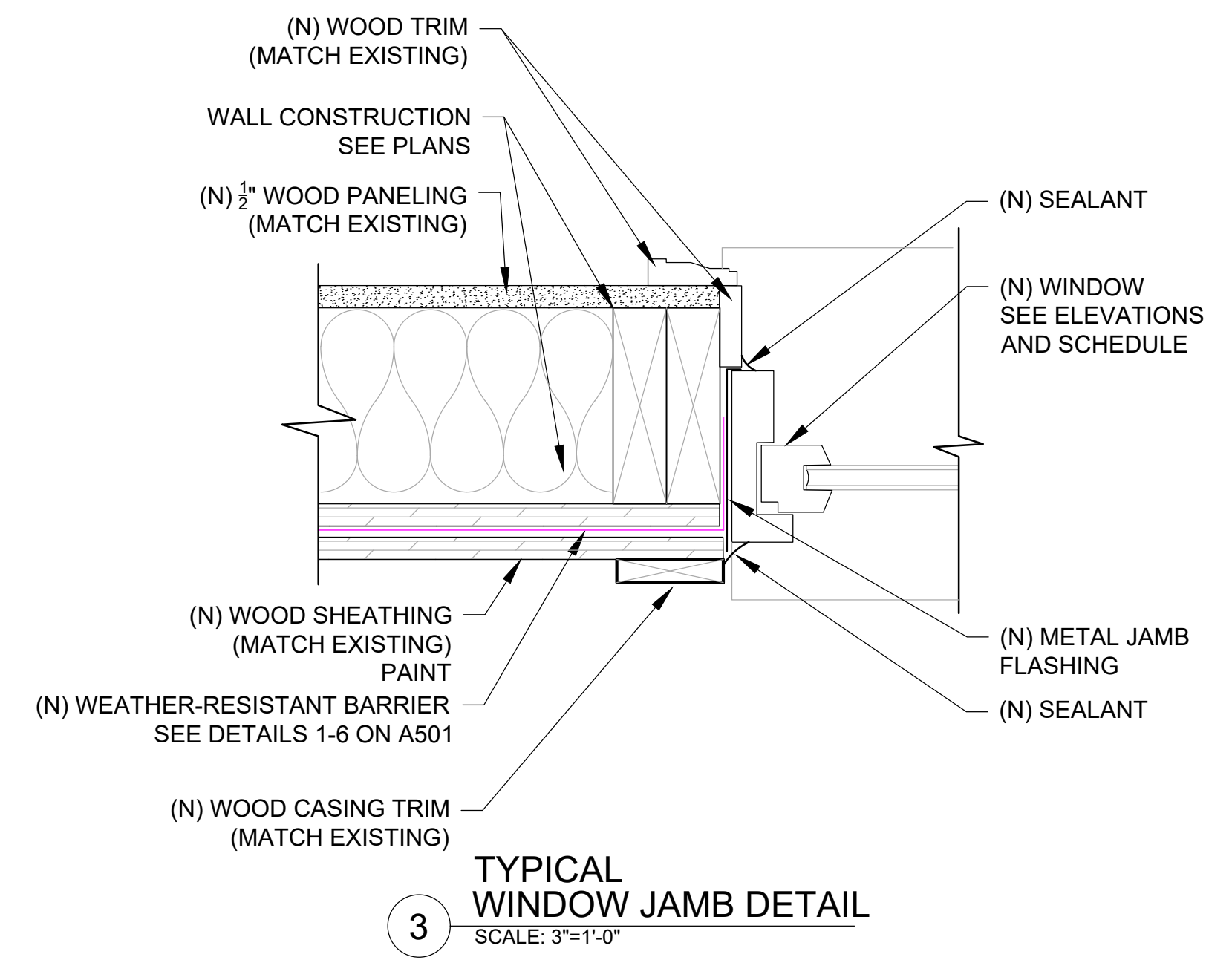
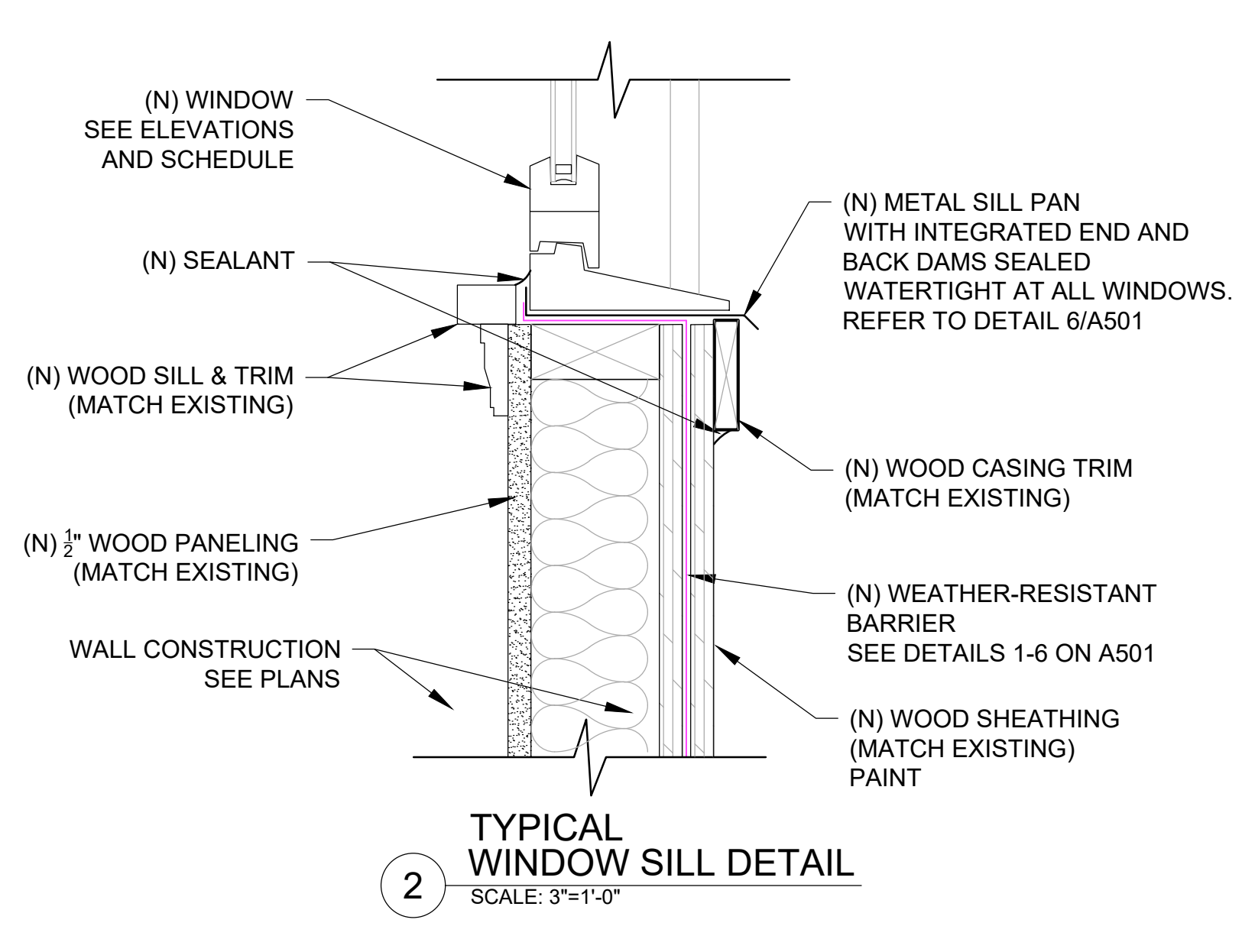
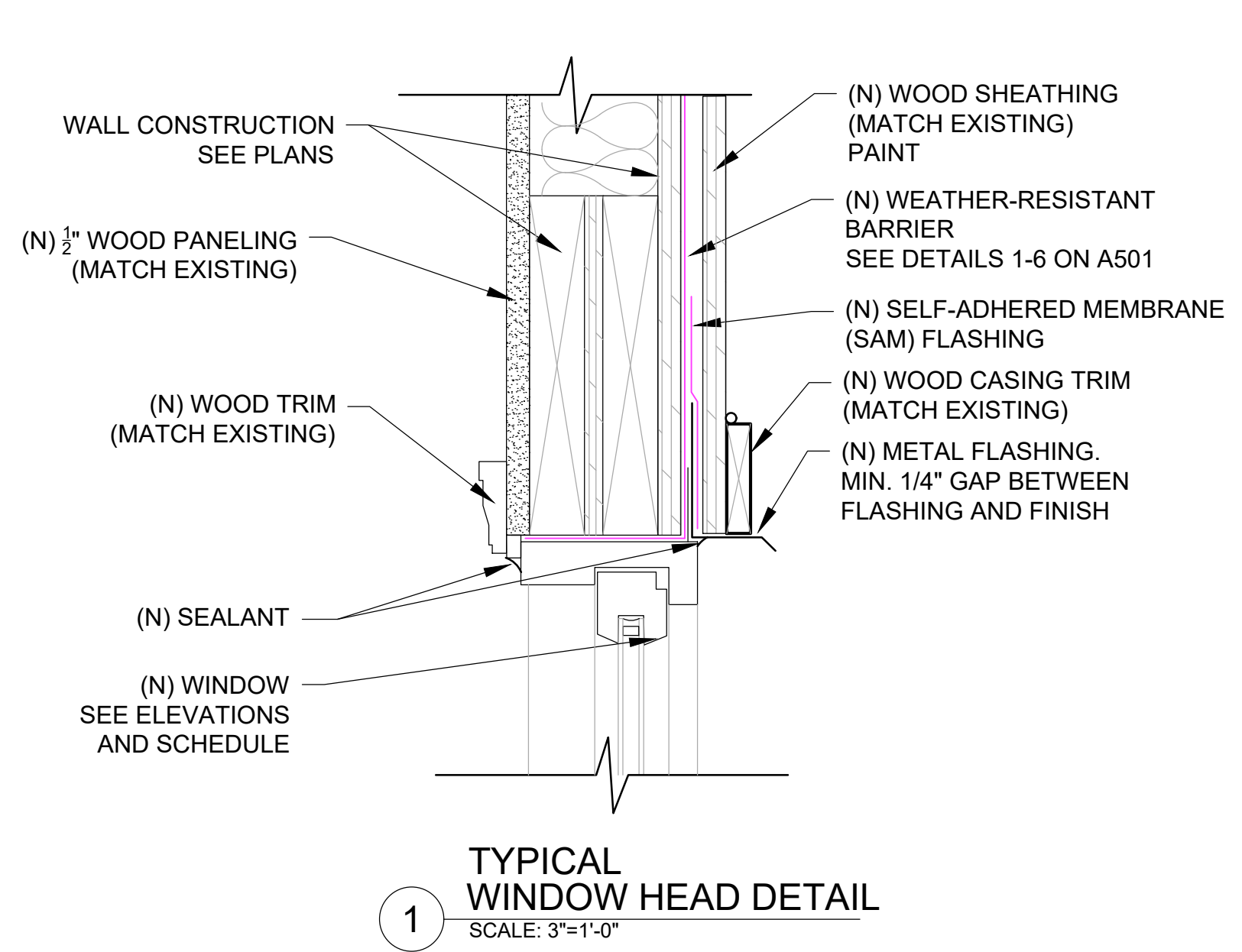
SHEET TITLE:
WINDOW DEALS

FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO:	100207901
DATE (Y-M-D):	2023-05-12
SCALE:	AS SHOWN
DESIGNED BY:	RIMKUS
DRAWN BY:	REP
CHECKED BY:	RJD/CJP

DRAWING NO:
A501

SHEET NO: 5 OF 9



NOTES:

NO.	REVISED FOR:	DATE (Y-M-D):
1.		
2.		
3.		
4.		
5.		
6.		
7.		

RIMKUS

8200 Cameron Road, Suite C-140
 Austin, TX 78754 | F-1545
 RDINJAR@RIMKUS.COM
 (800) 580-3228 | (512) 795-0811

SEAL:

NO.	ISSUED FOR:	DATE (Y-M-D):
1.	PERMIT	2023-5-12
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:
REPAIR DRAWINGS FOR GEORGETOWN HOUSING AUTHORITY
 1506-1508 HART STREET
 GEORGETOWN, TX 78626

CLIENT:
SYNERGY NDS, INC
 1400 SARNO ROAD
 MELBOURNE, FL 32935

SHEET TITLE:
ARCHITECTURAL DETAILS

FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO: 100207901
 DATE (Y-M-D): 2023-05-12
 SCALE: AS SHOWN
 DESIGNED BY: RIMKUS
 DRAWN BY: REP
 CHECKED BY: RJD/CJP

DRAWING NO: **A502**
 SHEET NO: 6 OF 9

IRIMKUS.NET\SHARES\OFFICES\STRUCTURAL ENGINEERING SERVICES\US\OPEN\DOB\100207901\PHASE 2\DESIGN\AD\100207901 - GEORGETOWN HOUSING AUTH.DWG

STRUCTURAL NOTES

STRUCTURAL WOOD

1. STRUCTURAL WOOD COMPONENTS (BEAMS, JOISTS, RAFTERS, ETC.) SHALL HAVE THE FOLLOWING MINIMUM ALLOWABLE FIBER STRESSES CONFORMING TO 2018 NDS (SIZE FACTOR INCLUDED IN STRESS VALUE):
 - A. NO. 1 DOUG FIR LARCH:

SHEAR	Fv =	180 PSI
BENDING 2x4	Fb =	1,500 PSI
BENDING 2x6	Fb =	1,300 PSI
BENDING 2x8	Fb =	1,200 PSI
BENDING 2x10	Fb =	1,100 PSI
BENDING 2x12	Fb =	1,000 PSI
2. STRUCTURAL WOOD COMPONENTS FOR STUDS, POSTS AND MISCELLANEOUS FRAMING MEMBERS SHALL BE SOUTHERN PINE NO. 2, DOUG FIR LARCH NO. 2 OR BETTER.
3. WOOD FRAMING CONNECTORS: ALL CONNECTORS SHALL BE TYPE GALVANIZED STEEL. CONNECTOR MODEL NUMBERS SHOWN ON PLANS ARE STRONG-TIE CONNECTORS AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY.
4. SUBSTITUTIONS ARE ACCEPTABLE WITH THE APPROVAL OF THE PROJECT ENGINEER. UNLESS SHOWN OTHERWISE, INSTALL SIZE AND NUMBER OF FASTENERS SHOWN IN THE LATEST SIMPSON CATALOG.
5. NAILS - COMMON TYPE NAILS PER ASTM F1667. IF REQUIRED, PRE-DRILL HOLES TO 3/4 OF THE DIAMETER OF THE NAIL SHANK TO PREVENT SPLITTING.

8D	0.131" DIA BY 2-1/2" LONG WITH FYB=100 KSI
10D	0.148" DIA BY 3" LONG WITH FYB= 90 KSI
12D	0.148" DIA BY 3-1/4" LONG WITH FYB= 90 KSI
16D	0.162" DIA BY 3-1/2" LONG WITH FYB= 90 KSI
6. FASTEN MULTI-PLY MEMBERS SUCH AS (2) 2X4, (2) 2X8, (3) 2X8, ETC. WITH 10d NAILS AT 12-INCHES ON CENTER, STAGGERED IN TWO ROWS AND ON BOTH SIDES OF THE MEMBER.
7. SHEATHINGS: PLYWOOD OR OSB AND SHALL BE APA RATED SHEATHING EXPOSURE 1 WITH A MINIMUM SPAN RATING OF 32/16. ALL SHEATHING SHALL BEAR THE TRADEMARK STAMP "APA, THE ENGINEERED WOOD ASSOCIATION," AND SHALL CONFORM TO STANDARD PS-1 OR PS-2. THE MINIMUM SPECIFIC GRAVITY, G, SHALL BE 0.49 AND THE MOISTURE CONTENT SHALL NOT BE GREATER THAN 16% AT THE TIME OF INSTALLATION. ALL EXTERIOR SHEATHINGS SHALL BE "EXTERIOR" GRADE.
 - A. WALL SHEATHING: MATCH EXISTING SHEATHING THICKNESS OR MINIMUM 5/8 INCH THICK OR AS SHOWN ON THE PLANS.
8. REPLACE ALL FULL DEPTH BLOCKING OR BRIDGING WHEN REMOVED.
9. MOISTURE CONTENT OF WOOD AT TIME OF PLACING SHALL NOT EXCEED 19%.
10. OVER DRIVING OF NAILS THROUGH SHEARWALL, ROOF, OR FLOOR SHEATHING IS NOT ALLOWED. NAILS SHALL BE DRIVEN SO THAT THE HEADS ARE FLUSH WITH THE SURFACE OF SHEATHING.
11. MACHINE APPLIED NAILING: SUBJECT TO SATISFACTORY JOB SITE DEMONSTRATION FOR THIS PROJECT AND CONTINUED SATISFACTORY PERFORMANCE MAINTAINING EDGE DISTANCES AND WITHOUT OVERDRIVING NAILS.
12. ANCHOR BOLTS, FASTENERS, NAILS, WOOD SCREWS, LAG SCREWS, BOLTS AND ALL OTHER CONNECTORS SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A-153, ASTM A-653 HOT DIPPED ZINC COATED GALVANIZED OR SHALL BE STAINLESS STEEL. FASTENERS OTHER THAN NAILS, WOOD SCREWS AND LAG SCREWS SHALL BE PERMITTED TO BE OF MECHANICALLY-DEPOSITED ZINC-COATED STEEL WITH COATING WEIGHTS IN ACCORDANCE WITH ASTM B695, CLASS 55 MINIMUM.
13. CONTRACTOR SHALL BE REQUIRED TO FURNISH AND INSTALL SOLID BLOCKING HAVING A MINIMAL NOMINAL THICKNESS OF TWO INCH AND A MINIMUM DEPTH TO MATCH ADJOINING MATERIALS. SAID BLOCKING SHALL BE INSTALLED AT ALL JOIST SUPPORT LOCATIONS.
14. ALL MANUFACTURERS PRODUCTS IDENTIFIED ON THE DRAWINGS AND/OR SPECIFIED WITHIN THE CALCULATIONS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.

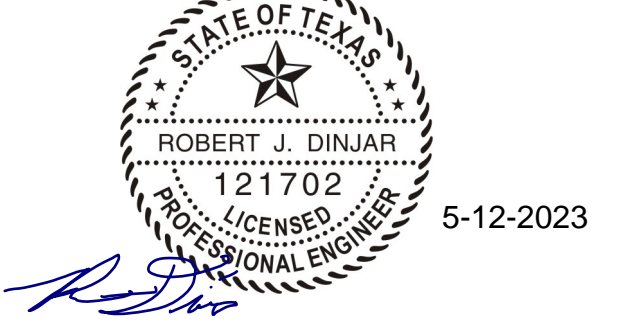
NOTES:

NO.	REVISED FOR:	DATE (Y-M-D):
1.		
2.		
3.		
4.		
5.		
6.		
7.		



8200 Cameron Road, Suite C-140
 Austin, TX 78754 | F-1545
 RDINJAR@RIMKUS.COM
 (800) 580-3228 | (512) 795-0811

SEAL:



NO.	ISSUED FOR:	DATE (Y-M-D):
1.	PERMIT	2023-5-12
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:
 REPAIR DRAWINGS FOR
 GEORGETOWN HOUSING AUTHORITY
 1506-1508 HART STREET
 GEORGETOWN, TX 78626

CLIENT:
 SYNERGY NDS, INC
 1400 SARNO ROAD
 MELBOURNE, FL 32935

SHEET TITLE:
 GENERAL NOTES

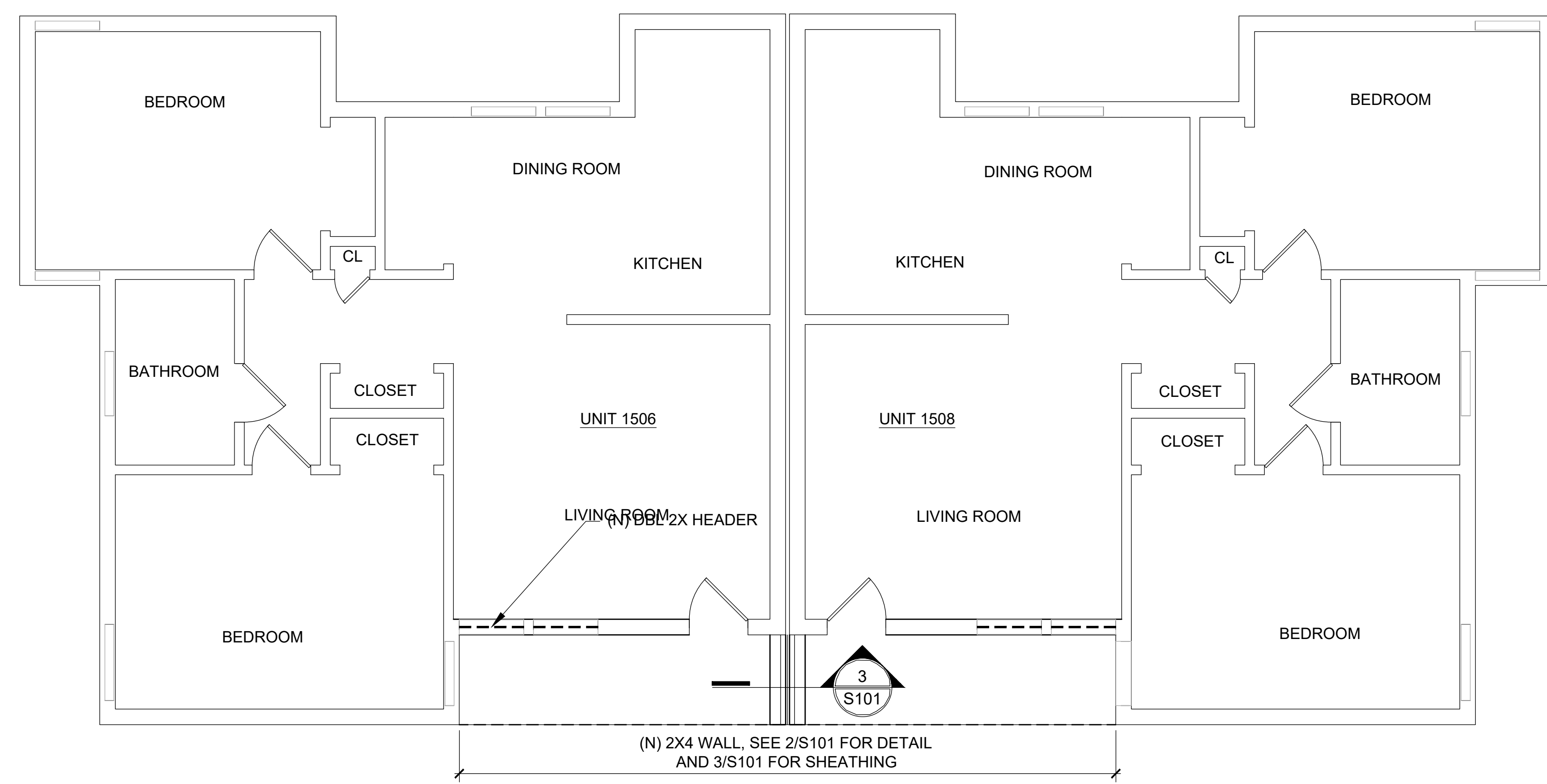
FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO:	100207901
DATE (Y-M-D):	2023-05-12
SCALE:	AS NOTED
DESIGNED BY:	RIMKUS
DRAWN BY:	REP
CHECKED BY:	RJD/CJP

DRAWING NO:
S001

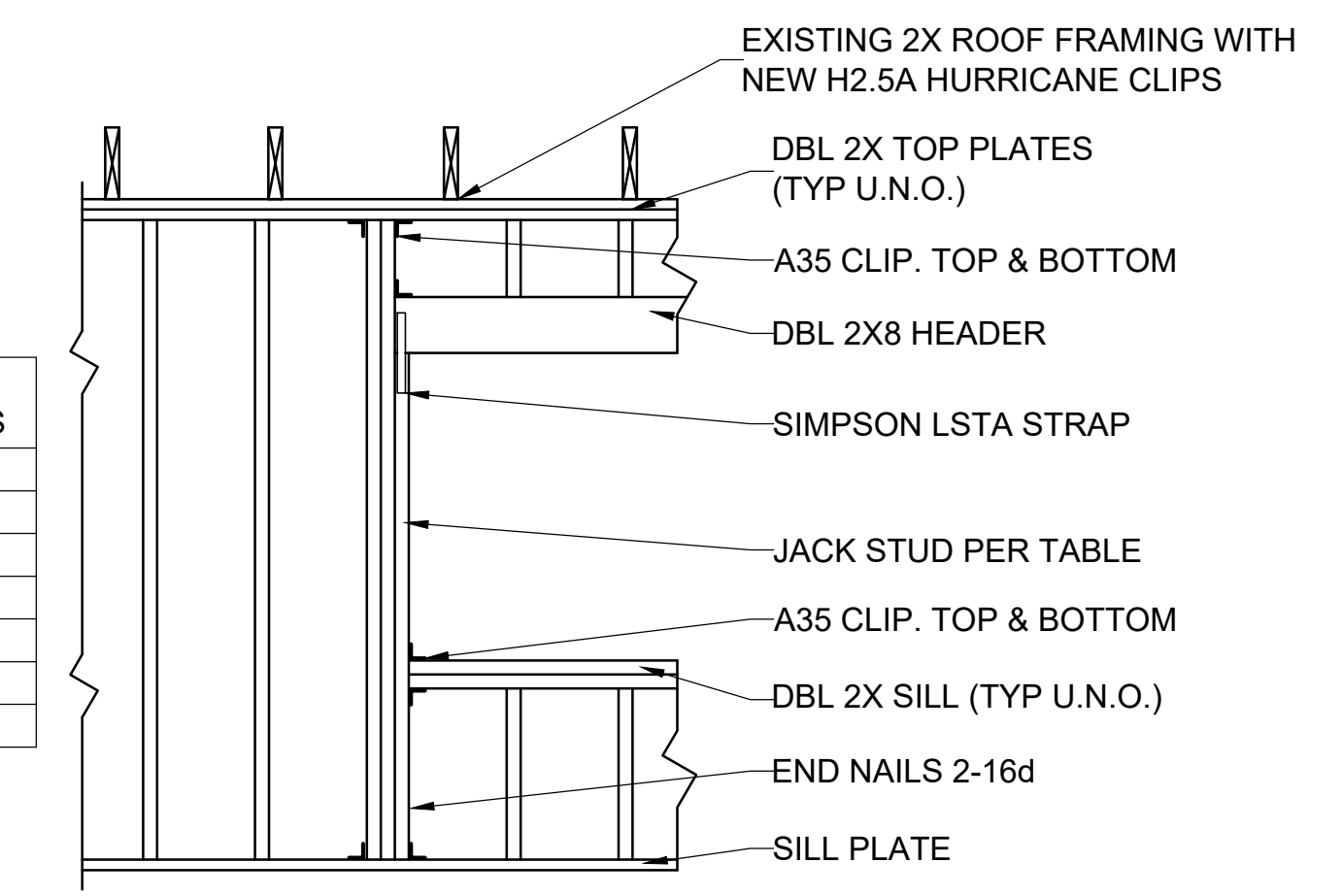
RIMKUS.NET\SHARES\OFFICES\STRUCTURAL ENGINEERING SERVICES US\OPEN\DOB\100207901\PHASE 2\DESIGN\CAD\100207901 - GEORGETOWN HOUSING AUTH.DWG

NOTES:

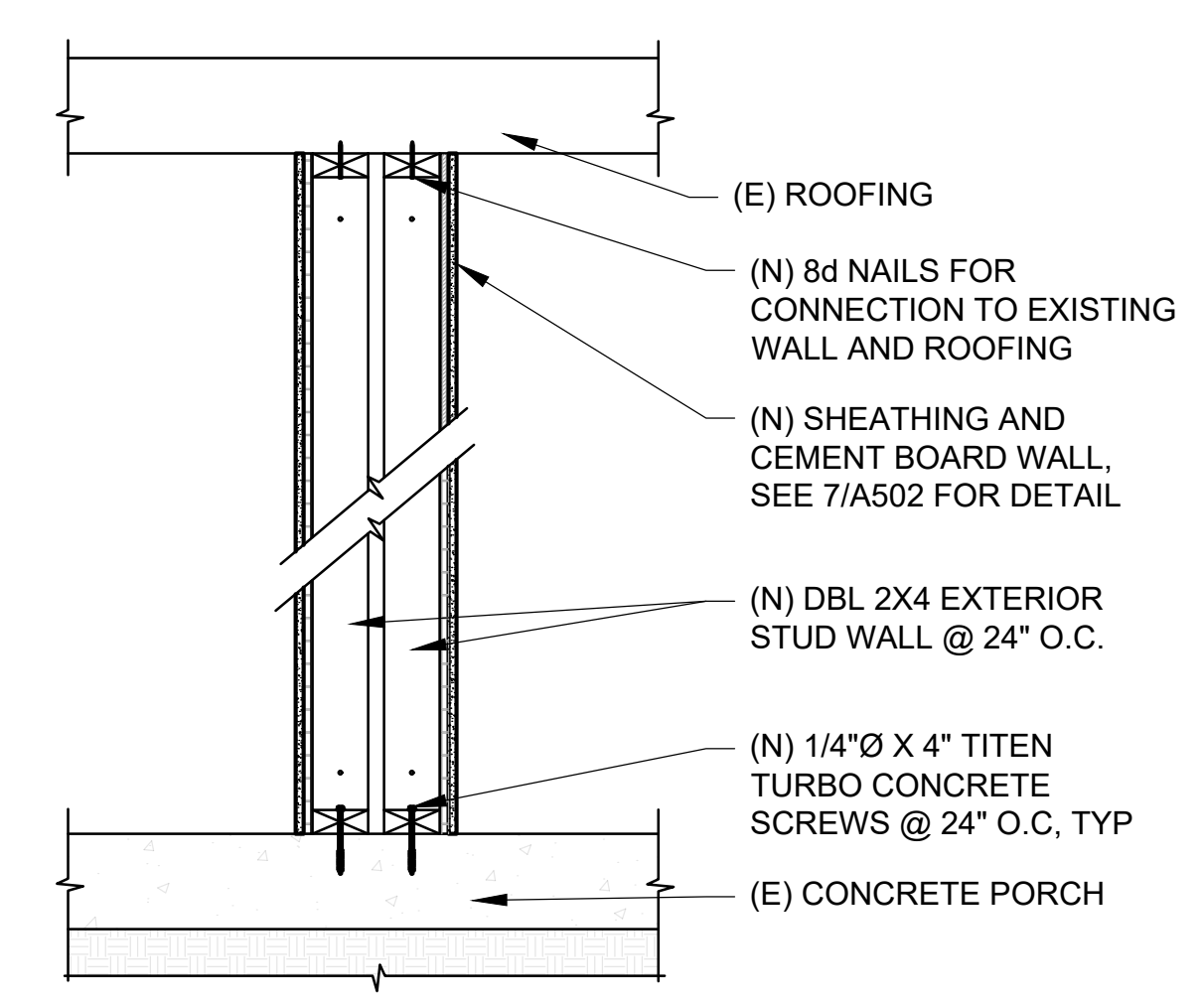


1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

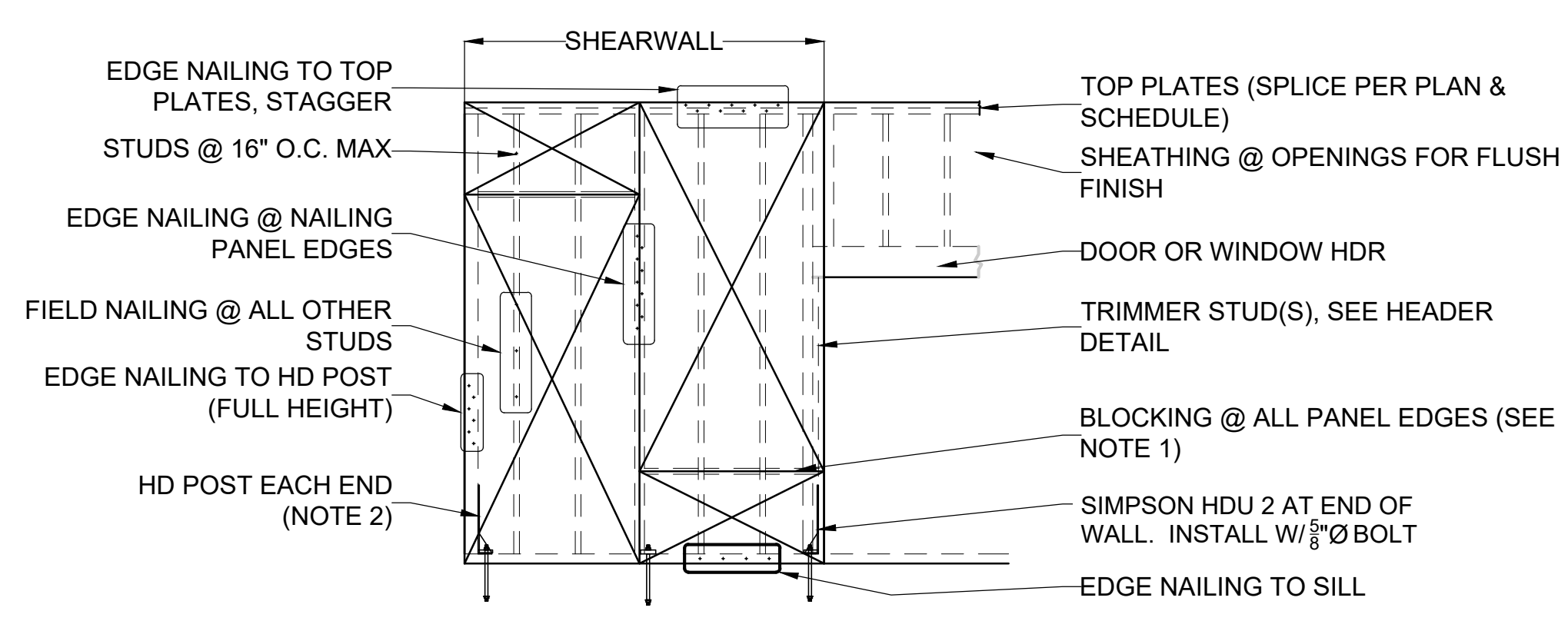
SPAN OPENING	JACK STUDS	KING STUDS
UP TO 3'-6"	1	1
>3'-6" TO 5'-0"	1	2
>5'-0" TO 8'-0"	2	2
>8'-0" TO 10'-6"	2	3
>10'-6" TO 13'-0"	3	3
>13'-0" TO 16'-0"	3	4
>16'-0" TO 18'-0"	4	4



2 WALL FRAMING DETAIL
SCALE: N.T.S.



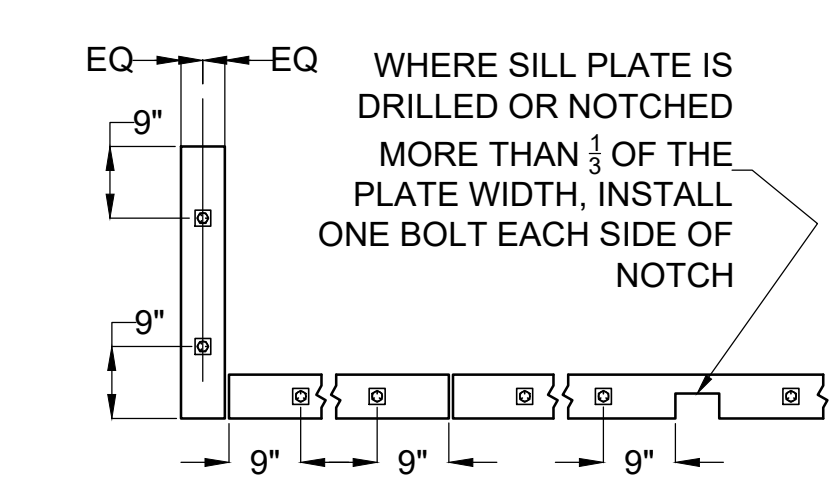
3 PARTITION WALL SECTION
SCALE: 1"=1'-0"



- NOTES**
1. STUD, SILL, AND BLOCKING SIZES
 2. SEE HOLDOWN DETAIL FOR ADDITIONAL HD POST SIZE REQUIREMENTS
 3. MINIMUM PLYWOOD DIMENSION IS 2'-0"
 4. AT DBL 2X HOLDOWN POSTS STAGGER EDGE NAILING EQUALLY TO EACH POST
 5. POSITION EDGE OF PLATE WASHER WITHIN 1/2" OF SHEATHED EDGE OF SILL PLATE. (NOTE: PROVIDE CUT WASHER BETWEEN A.B. NUT & PLATE WASHER)

15/32" WOOD STRUCTURAL PANEL SCHEDULE							
MARK	SHEATHING	NAIL SIZE	EDGE NAIL SPACING	FIELD NAIL	SILL TO WOOD CONN. SPACING (PRE-DRILL)	SILL TO CONCRETE	CAPACITY (PLF)
E1	15/32 STR I O.S.	10d	6"	12"	1/2"Øx7" L.S. @ 16" O.C.	5/8"Ø AB @ 48"	320

- SHEARWALL NOTES**
1. O.S. INDICATES SHEATHING ON SIDE OF WALL AS SHOWN ON PLANS. B.S. INDICATES SHEATHING ON BOTH SIDES OF WALL. L.S. INDICATES LAG SCREWS
 2. USE COMMON WIRE NAILS (MIN FASTENER PENETRATION IN FRAMING MEMBER-1 1/2")
 3. 5/8"Ø HILTI KWIK-BOLT TZ IS AN ACCEPTABLE ANCHOR BOLT ALTERNATIVE (4" MIN EMBED, ENT & EDGE DISTANCE, ESR-1917)
 4. SHEAR CAPACITY BASED ON 2010 CBC (INCLUDES ALL ALLOWABLE INCREASES) AND 2015 NDS



- NOTES**
1. SILL PLATE BOLTING W/ SIMPSON PLATES
 - A. BPS5/8-3 @ 2X4 STUD WALL
 - B. BPS5/8-6 @ 2X6 STUD WALL
 2. 3 GA. 3X6 1/2" PLATE WASHER WITH 3/8" WIDE X 1 1/2" LONG DIAGONAL SLOT @ 2X8 STUD WALL
 3. PROVIDE BOLTS @ 6" O.C. UNO
 4. PROVIDE MIN 2 BOLTS PER SILL SECTION

4 SHEARWALL SCHEDULE
SCALE: N.T.S.

NO.	REVISED FOR:	DATE (Y-M-D):
1.		
2.		
3.		
4.		
5.		
6.		
7.		

RIMKUS
8200 Cameron Road, Suite C-140
Austin, TX 78754 | F-1545
RDINJAR@RIMKUS.COM
(800) 580-3228 | (512) 795-0811

SEAL:

 ROBERT J. DINJAR
 121702
 LICENSED PROFESSIONAL ENGINEER
 5-12-2023

NO.	ISSUED FOR:	DATE (Y-M-D):
1.	PERMIT	2023-5-12
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:
REPAIR DRAWINGS FOR GEORGETOWN HOUSING AUTHORITY
 1506-1508 HART STREET
 GEORGETOWN, TX 78626

CLIENT:
SYNERGY NDS, INC
 1400 SARNO ROAD
 MELBOURNE, FL 32935

SHEET TITLE:
FLOOR PLANS

FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO: 100207901
 DATE (Y-M-D): 2023-05-12
 SCALE: 1/4" = 1'-0"
 DESIGNED BY: RIMKUS
 DRAWN BY: REP
 CHECKED BY: RJD/CJP

DRAWING NO:
S101

RIMKUS.NET\SHARES\OFFICES\STRUCTURAL ENGINEERING SERVICES US\OPEN\080100207901\PHASE 2\DESIGN\CAD\100207901 - GEORGETOWN HOUSING AUTH.DWG

(REFERENCES: 2015 IBC, TABLE 2304.10.1)

ITEM	DESCRIPTION OF BUILDING ELEMENT	NUMBER ^{a,b,c} OF FASTENERS	SPACING OF FASTENERS/LOCATION	ITEM	DESCRIPTION OF BUILDING ELEMENT	NUMBER OF FASTENERS ^{b,c,e}	SPACING OF FASTENERS	
							EDGES	INTERMEDIATE SUPPORTS
ROOF				WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING				
1.	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOE NAIL.	3-8d	---	38.	3/8" - 1/2"	6d COMMON (SUBFLOOR,WALL) 8d COMMON (ROOF)	6	12 ^d
2.	CEILING JOIST TO PLATE, TOE NAIL.	3-8d	---	39.	19/32" - 1"	8d COMMON	6	12 ^d
3.	CEILING JOIST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITIONS, FACE NAIL.	3-16d	---	40.	1 1/8" x 1 1/4"	10d COMMON OR 8d DEFORMED	6	12
4.	COLLAR TIE TO RAFTER, FACE NAIL OR 1-1/4"x20 GAGE RIDGE STRAP	3-10d	---	OTHER WALL SHEATHING ^f				
5.	RAFTER OR ROOF TRUSS TO PLATE, TOE NAIL.	3-10d	2 TOE NAILS ON ONE SIDE AND 1 TOE NAIL ON THE OPPOSITE SIDE OF EACH RAFTER OR TRUSS	41.	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL	3	6
6.	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS: TOE NAIL FACE NAIL.	4-16d 3-16d	---	42.	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL	3	6
7.	CEILING JOISTS, LAPS OVER PARTITIONS.	3-16d	FACE NAIL	43.	1/2" GYPSUM SHEATHING ^g	1 1/2" GALVANIZED ROOFING NAIL 1 1/4" SCREW, TYPE W OR S	7	7
8.	CEILING JOISTS TO PARALLEL RAFTERS.	3-16d	FACE NAIL	44.	5/8" GYPSUM SHEATHING ^g	1 3/4" GALVANIZED ROOFING NAIL 1 5/8" SCREW, TYPE W OR S	7	7
9.	JACK RAFTER TO HIP.	3-10d 2-16d	TOE NAIL FACE NAIL	WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING				
10.	ROOF RAFTER TO 2-BY RIDGE BEAM.	2-16d 2-16d	TOE NAIL FACE NAIL	45.	3/4" AND LESS	6d DEFORMED 8d COMMON	6	12
11.	JOIST TO BAND JOIST.	3-16d	FACE NAIL	46.	7/8" - 1"	8d DEFORMED 8d COMMON	6	12
WALL				47.	1 1/8" - 1 1/4"	8d DEFORMED 10d COMMON	6	12
12.	BUILD-UP STUDS-FACE NAIL.	10d	24" o.c.	A. ALL NAILS ARE SMOOTH-COMMON, BOX OR DEFORMED SHANKS EXCEPT WHERE OTHERWISE STATED. NAILS USED FOR FRAMING AND SHEATHING CONNECTIONS SHALL HAVE MINIMUM AVERAGE BENDING YIELD STRENGTHS AS SHOWN: 80 KSI FOR SHANK DIAMETER OF 0.192" (20d COMMON NAIL), 90 KSI FOR SHANK DIAMETERS LARGER THAN 0.142 INCH BUT NOT LARGER THAN 0.177 INCH, AND 100 KSI FOR SHANK DIAMETERS OF 0.142 INCH OR LESS.				
13.	ABUTTING STUDS AT INTERSECTION WALL CORNERS, FACE NAIL.	16d	12" O.C.	B. NOT USED.				
14.	BUILT-UP HEADER, TWO PIECES WITH 1/2" SPACER.	16d	16" O.C. ALONG EACH EDGE	C. NAILS SHALL BE SPACED AT NOT MORE THAN 6 INCHES ON CENTER AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES OR GREATER.				
15.	CONTINUED HEADER, TWO PIECES.	16d	16" O.C. ALONG EACH EDGE	D. FOUR-FOOT BY EIGHT-FOOT OR FOUR-FOOT BY NINE-FOOT PANELS SHALL BE APPLIED VERTICALLY.				
16.	CONTINUOUS HEADER TO STUD, TOE NAIL.	4-8d	---	E. SPACING OF FASTENERS NOT INCLUDED IN THIS TABLE SHALL BE BASED ON THE INTERNATIONAL BUILDING CODE.				
17.	DOUBLE STUDS, FACE NAIL.	10d	24" O.C.	F. FOR REGIONS HAVING BASIC WIND SPEED OF 110 MPH OR GREATER, AND MEAN ROOF HEIGHT IS MORE THAN 25 FEET, UP TO 35 FEET MAX, 8D DEFORMED NAILS SHALL BE USED FOR ATTACHING PLYWOOD AND WOOD STRUCTURAL PANEL ROOF SHEATHING TO FRAMING WITHIN MIN 48-INCH DISTANCE FROM GABLE END WALLS.				
18.	DOUBLE TOP PLATES, FACE NAIL.	10d	24" O.C.	G. FOR REGIONS HAVING BASIC WIND SPEED OF 100 MPH OR LESS, NAILS FOR ATTACHING WOOD STRUCTURAL PANEL ROOF SHEATHING TO GABLE END WALL FRAMING SHALL BE SPACED 6 INCHES ON CENTER. WHEN BASIC WIND SPEED IS GREATER THAN 100 MPH, NAILS FOR ATTACHING PANEL ROOF SHEATHING TO INTERMEDIATE SUPPORTS SHALL BE SPACED 6 INCHES ON CENTER FOR MINIMUM 48-INCH DISTANCE FROM RIDGES, EAVES AND GABLE END WALLS; AND 4 INCHES ON CENTER TO GABLE END WALL FRAMING.				
19.	DOUBLE TOP PLATES, MINIMUM 24-INCH OFFSET OF END JOINTS, FACE NAIL IN LAPPED AREA.	8-16d	---	H. GYPSUM SHEATHING SHALL CONFORM TO ASTM C 1396 AND SHALL BE INSTALLED IN ACCORDANCE WITH GA 253. FIBERBOARD SHEATHING SHALL CONFORM TO ASTM C 208.				
20.	SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL.	16d	16" O.C.	I. SPACING OF FASTENERS ON FLOOR SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING AND AT ALL FLOOR PERIMETERS ONLY. SPACING OF FASTENERS ON ROOF SHEATHING PANEL EDGES APPLIES TO PANEL EDGES SUPPORTED BY FRAMING MEMBERS AND REQUIRED BLOCKING. BLOCKING OF ROOF OR FLOOR SHEATHING PANEL EDGES PERPENDICULAR TO THE FRAMINGMEMBERS NEED NOT BE PROVIDED EXCEPT AS REQUIRED BY OTHER PROVISIONS SHOWN ON THESE DRAWINGS. FLOOR PERIMETER SHALL BE SUPPORTED BY FRAMING MEMBERS OR SOLID BLOCKING.				
21.	SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS.	3-16d	16" O.C.	J. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLELL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE, PROVIDE TWO TOE NAILS ON ONE SIDE OF THE RAFTER AND TOE NAILS FROM THE CEILING JOIST TO TOP PLATE IN ACCORDANCE WITH THIS SCHEDULE. THE TOE NAIL ON THE OPPOSITE SIDE OF THE RAFTER SHALL NOT BE REQUIRED.				
22.	STUD TO SOLE PLATE, TOE NAIL.	3-8d or 2-16d	---					
23.	TOP OR SOLE PLATE TO STUD, END NAIL	2-16d	---					
24.	TOP PLATES, LAPS AT CORNER AND INTERSECTIONS, FACE NAIL.	2-10d	---					
25.	1" BRACE TO EACH STUD AND PLATE, FACE NAIL.	2-8d	---					
26.	1" X 6" SHEATHING TO EACH BEARING, FACE NAIL.	2-8d	---					
27.	1" X 8" SHEATHING TO EACH BEARING, FACE NAIL.	2-8d	---					
28.	WIDER THAN 1" X 8" SHEATING TO EACH BEARING, FACE NAIL.	3-8d	---					
FLOOR								
29.	JOIST TO SILL OR GIRDER, TOE NAIL.	3-8d	---					
30.	RIM JOIST TO TOP PLATE, TOE NAIL (ROOF APPLICATIONS ALSO.)	8d	6" O.C.					
31.	RIM JOIST OR BLOCKING TO SILL PLATE, TOE NAIL.	8d	6" O.C.					
32.	1" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL.	2-8d	---					
33.	2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL.	2-16d	---					
34.	2" PLANKS (PLANK & BEAM - FLOOR & ROOF).	2-16d	AT EACH BEARING					
35.	BUILD-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS.	10d	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM STAGGERED. TWO NAILS AT ENDS AND AT EACH SPLICE.					
36.	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS.	3-16d	AT EACH JOIST OR RAFTER.					
37.	BRIDGING TO JOIST.	2-8d	TOENAIL EACH END					

1 FASTENER SCHEDULE
SCALE: N/A

NOTES:

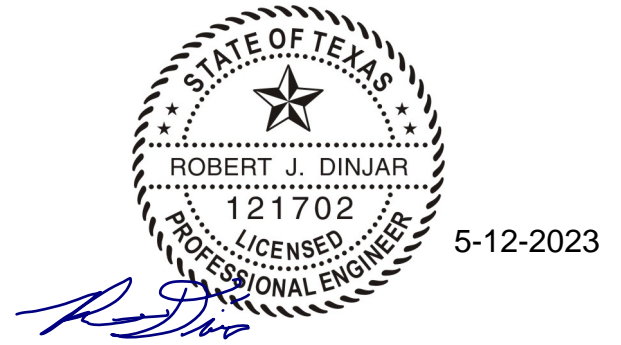
NO. REVISED FOR: DATE (Y-M-D):

1.		
2.		
3.		
4.		
5.		
6.		
7.		



8200 Cameron Road, Suite C-140
Austin, TX 78754 | F-1545
RDINJAR@RIMKUS.COM
(800) 580-3228 | (512) 795-0811

SEAL:



NO. ISSUED FOR: DATE (Y-M-D):

1.	PERMIT	2023-5-12
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:

**REPAIR DRAWINGS FOR
GEORGETOWN HOUSING AUTHORITY
1506-1508 HART STREET
GEORGETOWN, TX 78626**

CLIENT:

**SYNERGY NDS, INC
1400 SARNO ROAD
MELBOURNE, FL 32935**

SHEET TITLE:

**SCHEDULES AND
DIAGRAMS**

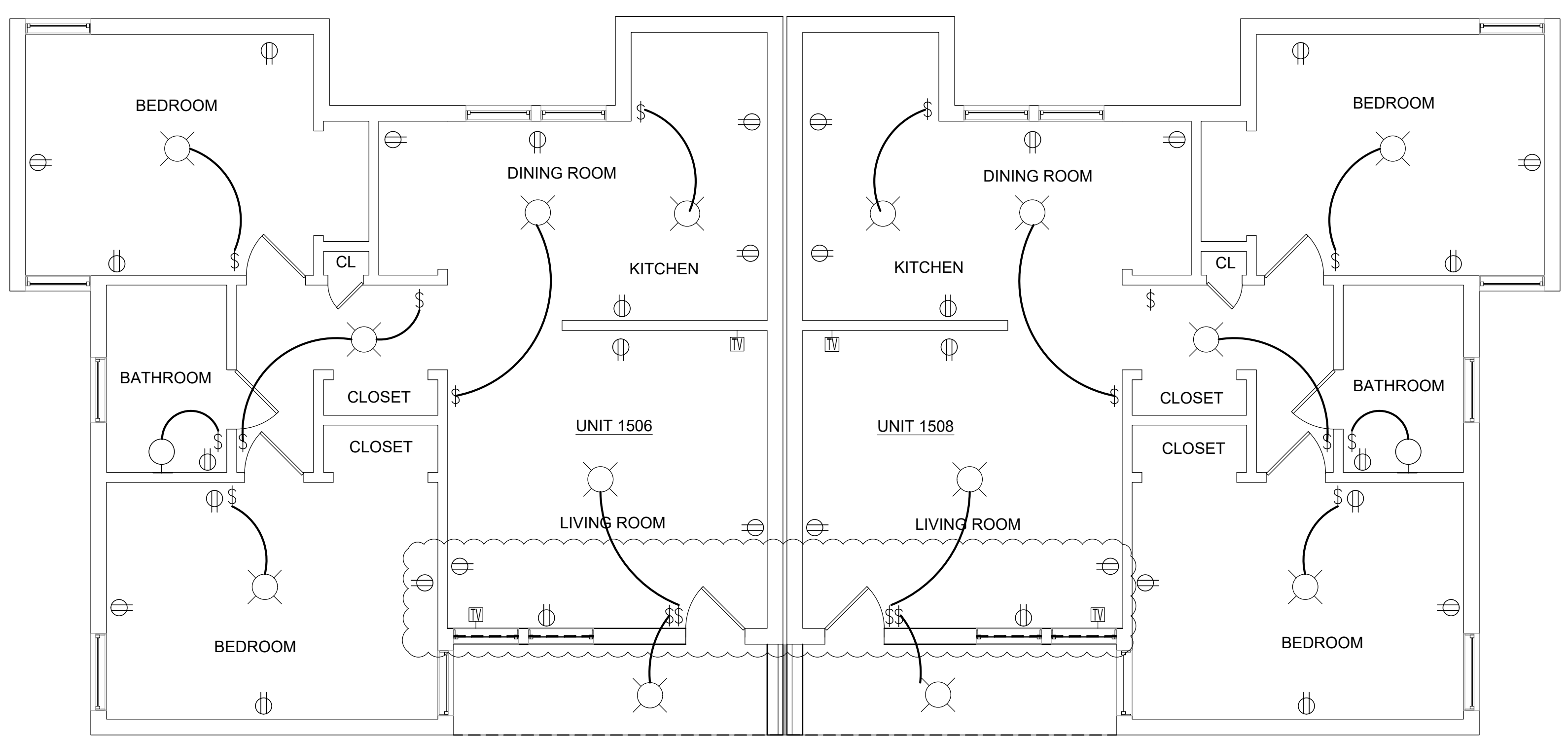
FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO:	100207901
DATE (Y-M-D):	2023-05-12
SCALE:	1/8" = 1'-0"
DESIGNED BY:	RIMKUS
DRAWN BY:	REP
CHECKED BY:	RJD/CJP

DRAWING NO:

S601

SHEET NO: 8 OF 9



NOTES:
 1. REMOVE AND REPLACE FIXTURES IN FRONT OF BOTH DUPLEX UNITS WITH LIKE KIND.

1 ELECTRICAL LAYOUT PLAN
 SCALE: 1/4"=1'-0"

ELECTRICAL LEGEND

- WALL FIXTURE
- ☒ CEILING FIXTURE
- ⊗ CARBON MONOXIDE DETECTOR
- Ⓢ SMOKE DETECTOR
- Ⓜ ELECTRICAL PANEL
- Ⓟ SPEAKER/INTERCOM
- Ⓛ DUPLEX RECEPTACLE OUTLET
- ⓁⓂ GFCI DUPLEX RECEPTACLE OUTLET
- ⓁⓂⓂ EQUIPMENT SHUT-OFFS
- Ⓢ THERMOSTAT
- Ⓢ SINGLE POLE SWITCH
- Ⓜ CABLE/DATA OUTLET
- Ⓜ TELEPHONE OUTLET

NOTES:

NO.	REVISED FOR:	DATE (Y-M-D):
1.		
2.		
3.		
4.		
5.		
6.		
7.		

RIMKUS
 8200 Cameron Road, Suite C-140
 Austin, TX 78754 | F-1545
 RDINJAR@RIMKUS.COM
 (800) 580-3228 | (512) 795-0811

SEAL:

 5-12-2023

NO.	ISSUED FOR:	DATE (Y-M-D):
1.	PERMIT	2023-5-12
2.		
3.		
4.		
5.		
6.		
7.		

PROJECT:
REPAIR HOUSINGS FOR GEORGETOWN HOUSING AUTHORITY
 1506-1508 HART STREET
 GEORGETOWN, TX 78626

CLIENT:
SYNERGY NDS, INC
 1400 SARNO ROAD
 MELBOURNE, FL 32935

SHEET TITLE:
ELECTRICAL LAYOUT PLAN

FOR CLIENT'S SOLE USE PER GOVERNING CONTRACT AND LIMITED TO APPLICABLE PROJECT. NO MODIFICATIONS OR REPRODUCTIONS WITHOUT WRITTEN APPROVAL OF RIMKUS. CONTRACTOR SOLELY RESPONSIBLE FOR VERIFYING ALL DIMENSIONS.

PROJECT NO:	100207901
DATE (Y-M-D):	2023-05-12
SCALE:	1/4" = 1'-0"
DESIGNED BY:	RIMKUS
DRAWN BY:	REP
CHECKED BY:	RJD/CJP

DRAWING NO:
E101