



# INVITATION FOR BID (IFB)

IFB Number	Scope Number	Closing Date	Closing Time	Return IFB Submittal
GC2018092542-6908	5133	2/21/2020	4:00pm EST	bids@synergynds.com

IFB Reference Information:	<b>Stabilize and set on new foundation</b>			
Insured Property Owner:	<b>City of Callaway</b>			
Property Location Name:	<b>Old School Museum</b>			
Address Line 1:	522 Beulah Ave.			
Address Line 2:	Enter Text Here			
City:	<b>Callaway</b>	State:	Florida	Zip Code: <b>32404</b>

**DESCRIPTION:** Furnish all required labor, materials and equipment necessary to provide Scope-of-Work at the above described location. Work is being authorized under the elected FMIT TurnKey Recovery Program<sup>SM</sup> administered by Synergy NDS, Inc. (SynergyNDS) on behalf of the Insured Property Owner, a Member of the Florida Municipal Insurance Trust (FMIT).

**SUBMITTAL INSTRUCTIONS:** In support of Procurement Guidelines, the IFB Packet includes specifications and terms & conditions associated with the above referenced project information.

1. Bids shall be received no later than the Closing Date & Time indicated above. Bids received after above deadline or that are not submitted in accordance to Submittal Instructions may be rejected without further explanation or contractor notification.
2. Bid shall be completed and submitted using **ONLY** the **Contractor Submittal Form** (provided at the end of the IFB Packet).
3. Contractor is responsible to validate all Quantities and Units of Measurements specific to the following scope items &/or products. The information and descriptions provided in the IFB are intended for general guidance purposes only. Contractor may not change or alter any material &/or specifications identified in the IFB for submission purposes without prior written/email notification to: [bids@synergynds.com](mailto:bids@synergynds.com).
4. Contractor has the sole responsibility to ensure that all services and material for BID Submittal (whether stated correctly in the IFB or not) satisfactorily meet all required Codes & Standards, OSHA Guidelines and The Americans with Disabilities Act (ADA).
5. Contractor should also consider the approach (if necessary) in which to stock/store material at the jobsite in a safe and secure manner. SynergyNDS will not be responsible for lost or stolen material, supplies or equipment stocked at the jobsite.
6. Bid award will be made based on best overall LUMP SUM project value as determined by SynergyNDS in accordance to market valuation, project demands, critical path scheduling – as well as overall Insured Member's WorkForce Participation Goals. Contributing factors, in addition to price, may be considered as necessary to help determine bid award based on any additional criteria set forth by the specific FMIT Insured Member.

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7. SynergyNDS reserves the right to modify the IFB Specifications and Terms & Conditions at any time during the bid solicitation process. Timely notice to all bidders will be given via an electronically distributed Addendum.
8. All registered HUB & HUB Zone Contractors, as well as DBEs are encouraged to participate. Additional Contractor Financial Assistance is available to help support daily HUB/DBE Contractor's operations under the terms and condition of a successful contract award.
9. SynergyNDS is an equal opportunity employer and administers all Contracts & Contractor Agreements in accordance to the requirements of 41 CFR §§ 60-1.4(a), 60-300.5(a) and 60-741.5(a).
10. Contractor is strongly encouraged to schedule a Site Visit of the property as necessary to support the IFB Submittal. All scheduled site visits can be requested at [bids@synergynds.com](mailto:bids@synergynds.com).
11. When a mandatory Pre-BID Meeting is identified and scheduled in a specific IFB, Contractor Attendance is a requirement as part of the Solicitation. Contractors who fail to attend the Pre-BID Meeting will not be eligible to participate in the IFB and subsequent submittal process.
12. Contractor can submit all questions &/or concerns specific to the IFB by email to: [bids@synergynds.com](mailto:bids@synergynds.com).

### **SCOPE-OF-WORK SUMMARY**

Refer to **EXHIBIT A** and any subsequent **ATTACHMENTS** for scope-of-work description that will be included after the IFB Contractor Submittal Form on Page #9.

- \*This IFB is part of a potential Federally Funded Project.
- \*This IFB does not require a Contractor Payment or Performance Bond.
- \*This Project is Sales Tax Exempt through the specific Florida Public Entity.
- \*This IFB does not require a Pre-BID Meeting
- \*This IFB supports workforce participation goals.

**\*\* THE REMAINING PART OF THIS PAGE IS INTENTIONALLY LEFT BLANK \*\***

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## **GENERAL TERMS & CONDITIONS**

1. Contractor shall be responsible for field verifying all conditions, dimensions & quantities prior to IFB Submittal and the implementation of this scope of work. Any Exhibits, Plans, Drawing &/or Other Supporting Documents have been included for general reference purposes only.
2. Contractor is responsible to identify and satisfactorily address all applicable regulatory requirements, including but not limited to Codes & Standards, HUD/DBE Participation Goals & Guidelines and ADA/FHA Specifications.
3. Contractor shall indicate in writing and be responsible to submit to SynergyNDS via email distribution to [projects@synergynnds.com](mailto:projects@synergynnds.com) any request or need for additional 3<sup>rd</sup> Party Assignment as necessary to further identify required codes & standards, scope specifications or public health safety concerns outside of Contractor's professional competence &/or licenses.
4. Contractor is to obtain their own permits and schedule all applicable inspections. Permits can be obtained by contacting the Building Department or other administering entity. Permit Fees are reimbursable direct from SynergyNDS (in addition to contractor's Lump Sum Proposal) if incurred and submitted with proper documentation.
5. Contractor shall prohibit discrimination against staff &/or available workforce based on their status as protected veterans or individuals with disabilities and prohibit discrimination against all individuals based on their race, color, religion, sex, sexual orientation, gender identity or national origin. Moreover, these regulations require that Contractor and its subcontractors take affirmative action to employ and advance in employment individuals without regard to race, color, religion, sex, sexual orientation, gender identity, national origin, protected veteran status or disability.
6. Contractor is to abide by all applicable OSHA and project safety requirements and standards. Contractor shall require all employees to utilize proper PPE when applicable, including but not limited to: fall protection harnesses, hard hats, safety glasses, safety foot wear, gloves and etc.
7. Contractor is responsible for submitting applicable project and associated contract documents as defined by Architectural Drawings Specifications, Engineering Requirements, Certificates of Insurance, Change Order Requests and any written or documented deviations from approved scopes-of-work or Contract.
8. Contractor may be asked to provide Material Safety Data Sheets (MSDS) to the Industrial Hygienist of record (for the project) for chemical-based products that will be used including, but not limited to, glues, cleaners, solvents, anti-microbial products, sanitizing agents, etc. The Industrial Hygienist of record retains the right to not allow the use of any of the products selected.
9. Contractor shall be responsible under terms of the Agreement for supplying any and all necessary labor, equipment, tools, materials and travel expense to complete the scope of work unless directed otherwise in the IFB. This includes but is not limited to: Rental Equipment, Dumpsters, Storage Containers, Jobsite Trailer, General Conditions, Associated Expenses, Travel Cost and Overhead & Profit which are to be included in the IFB Contractor Lump Sum Proposal.
10. Contractor shall protect all property from new and supplemental damage during the performance of work. This includes, but necessarily limited to: wall finishes, floor finishes, windows, electrical systems, mechanical systems, communication systems, life safety systems, security systems, HVAC control

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systems, plumbing systems, lighting systems, structurally related components, exterior elements, vegetation, property-of-others, and etc.

11. Contractor shall be responsible for any breakage &/or cleaning of unintended damage, debris, coatings, coverings, overspray and residual caulking from the aforementioned property described above. If affected property can't be successfully cleaned &/or restored to pre-existing condition, SynergyNDS will seek reimbursement from Contractor &/or deduct the appropriate replacement cost from outstanding Invoice Payment (Contract Value).
12. Contractor is EXPECTED to maintain a Clean & Safe Work Environment throughout the lifecycle of the awarded scope-of-work. This includes daily clean-up and organization of the Contractor's work area specific to all material waste, debris, tools &/or equipment. Failure to do so (after 3 documented warnings) can result in back charges to Contractor in the amount of \$25.50 hourly rate with a minimum \$150.00 per day clean-up rate (as determined by the SynergyNDS or the Insured Property Owner).
13. Contractor shall be responsible for securing work area(s) from access by non-authorized building occupants, including all persons not directly part of the restoration, repair and/or rebuild efforts. This includes securing work area(s) as identified in the IFB Scope-of-Work &/or under Contractors control.
14. Contractor shall provide and implement a site-specific health and safety plan to include hazard communication and related OSHA requirements to protect workers as well as the general public with access to the work area.
15. If the Contractor determines that deviations, modifications (change order or supplemental costs) from the initial scope-of-work are required, the Contractor shall submit a written request to SynergyNDS for review and approval prior to start of any additional work not otherwise included in initial BID. The written request will contain, at a minimum:
  - a. Reason for deviation or modification
  - b. Description of deviation or modification
  - c. Project cost addition or subtraction for deviation or modification
  - d. Estimated time required for deviation or modification.
16. Contractor is NOT responsible for any conditions or activities the building owner or employees implemented prior to their arrival to the job site. This includes removal of contents, equipment or personnel from the affected areas to the non-affected areas of the building.
17. During the performance of Contractor's scope-of-work, pre-existing damage to the building, structure, system failures or other anomalies may be found. If this occurs, the Contractor has the responsibility to identify, document and report these deficiencies immediately to SynergyNDS by email notification to [projects@synergynnds.com](mailto:projects@synergynnds.com). Verbal notification &/or discussion only with the Onsite Project Manager is encouraged but not binding. Written documentation must be provided in efforts to comply with the required transparent approach.
18. Contractor is responsible to ensure that their employees &/or its sub-contractors comply with the provisions and terms of the IFB and Contract Agreement.

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**PAYMENT:** Project is managed by SynergyNDS, Inc., under the FMIT Turnkey Recovery Program. Payments will be made directly to the contractor(s) in accordance with described terms & conditions. Qualified contractors may be eligible for an upfront material deposit or progress payments as determined prior to BID AWARD. **Contractor must be registered in the MVP (Managed Vendor Program) whereby required contractor documents must be uploaded to the database. There is annual \$49.95 processing fee as part of the initial contractor vetting and background check.**

**PAYMENT TERMS:** Payments will be made after inspection and approval of work by SynergyNDS, City Building Official &/or Insurance Adjuster. Accurate invoices and required project documentation must be submitted to SynergyNDS for project audit prior to payment. \*Material Deposits &/or Advanced Payments require Contractor to complete online registration in the Managed Vendor Program (MVP). MVP has an annual \$49.99 Registration Fee to be part of the Contractor Direct Repair Program. Material Deposits &/or Advanced Payments will require a 2% Invoice Payment Discount.

**HOLD HARMLESS:** To the fullest extent permitted by law, the Contractor/Vendor shall indemnify, defend, and hold harmless SynergyNDS, Inc & FMIT, their officers, agents, employees, elected, and appointed officials, Insurance Representatives and volunteers from and against any and all claims, losses or liability, including attorney's fees, arising from injury or death to persons or damage to property occasioned by any act, omission, or failure of the Contractor/Vendor and any of its officers, agents, employees, and volunteers in satisfying the terms required by this contract.

**RIGHT TO ACCEPT, REJECT AND WAIVE DEFECTS:** SynergyNDS &/or Contracting Agent reserves the right to: reject all quotations; waive formalities, technical defects, and minor irregularities; accept the quotation (if any) deemed most advantageous to and in the best interests of Insured Members of FMIT. Award will be based on price, contractor's daily performance capabilities, availability to provide the specified services when required &/or in accordance to critical path scheduling.

**DAMAGES:** Contractor will be held liable for any damage caused to the building and ancillary structure, and/or injury to the occupants resulting from the execution of the work or from not exercising proper precautionary protective measures. Any cost of repair/replacement resulting from damages shall be at the Contractor's expense.

**WORK-SITE PRACTICES:** Contractor's workers, as well as the various trade contractors entering or leaving the work area, will all attend a site-specific safety meeting as well as daily safety meetings prior the scheduled workday. Contractor's workers entering or leaving the work area will don or remove personal protective equipment and clothing in the staging area outside of each work area. All debris & trash in the work area will be removed and disposed.

**WORKER PERSONAL PROTECTION EQUIPMENT:** The National Institute for Occupational Safety and Health (NIOSH) provides the following interim guidelines and warnings to restoration workers.

- a) Steel toed leather boots should be worn. Tennis shoes or sneakers should *not* be worn because they will transfer contamination and will not prevent punctures, bites, or crush injuries.
- b) Goggles, safety glasses with side shields or full-face shields shall be used when performing restoration related activities that involve demolition, cutting or the use of ANY power tools. Sun/glare-protective

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lenses may be needed in some work settings. The use of goggles or protective eyewear should also be worn during the application of any cleaners, sanitizers or disinfectants.

- c) Soft hat or another protective head cover. Wear an American National Standards Institute (ANSI) rated hardhat if there is any danger of falling debris or electrical hazards.
- d) Hearing protection (when working in an environment with any noise that you must shout over to be heard).
- e) Comfortable, form fitting, light weight clothing including long pants and a long-sleeved shirt or coveralls. Additional PPE, respiratory protection, or clothing may be required when specific exposure hazards are identified or expected at the work site. In some instances, the protective ensemble components (garment, boots and gloves) may need to be impervious to contaminated flood or other site-specific chemical, physical, or biological hazards. In all instances, workers are advised to wash their hands with soap and clean water, especially before eating or drinking. Protect any cuts or abrasions with waterproof gloves and dressings. The use of insect repellent, sun block and lip balm may also be required for some work environments. Drink plenty of bottled water and take frequent rest breaks to avoid overexertion.

**THERMAL STRESSES: HEAT:** Workers are at serious risk for developing heat stress. Excessive exposure to hot environments can cause a variety of heat-related problems, including heat stroke, heat exhaustion, heat cramps, and fainting. To reduce the potential for heat stress, drink a glass of fluid every 15 to 20 minutes and wear loose- fitting clothing. Additionally, incorporate work-rest cycles into work routines and when possible distribute the workload evenly throughout the day.

\*\*\*\*Temporary cooling to the work areas shall only be authorized by the owner's representative based on the actual need for the work being performed. Where the conditions allow for the operation of part or all of the ventilation systems serving the work area then the need for temporary cooling is NOT necessary. The work area should be maintained at conditions that meet OSHA requirements for health and safety.\*\*\*\*

**WORKING IN CONFINED SPACES:** If you are required to work in a boiler, furnace, pipeline, pit, pumping station, septic tank, sewage digester, storage tank, utility vault, well, or similar enclosure, you should be aware of the hazards of working in confined spaces. A confined space has one or more of the following characteristics:

- a) limited openings for entry or exit;
- b) unfavorable natural ventilation; or
- c) Is not designed for continuous worker occupancy.

Toxic gases, a lack of oxygen, or explosive conditions may exist in the confined area, resulting in a potentially deadly atmosphere. Because many toxic gases and vapors cannot be seen or smelled, never trust your senses to determine if safe entry is possible. **Never** enter a confined space unless you have been properly trained, even to rescue a fellow worker! If you need to enter a confined space and do not have the proper training and equipment, contact your local fire department for assistance.

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**CONTRACT IMPLEMENTATION:** Contract will be awarded upon review of all bids and proposals received by SynergyNDS. Initiation of intent-to-contract with Contractor will be engaged upon email notification and signed/returned Contractor Agreement Form. Contract-in-full will occur upon SynergyNDS receipt of all required documentation including but not limited to:

- a) Performance Bond &/or Payment Bond (If Required)
- b) Certificate of General Liability Insurance
- c) Certificate of Auto Insurance
- d) Certificate of Worker's Compensation or Letter of Exemption
- e) Contractor's W-9
- f) State Licenses

Further description of insurance requirements is listed in "Insurance & Licensing Requirements." No material deposits &/or payments will be made to Contractor until all required documentation has been received.

**ASSIGNMENT OF CONTRACT:** Contractor shall not assign the contract or any part thereof to any person, firm, corporation or company unless such assignment is approved in writing by SynergyNDS. Such acceptance shall be at the sole discretion of the SynergyNDS upon request of the Contractor. Upon approved and executed Transfer-of-Contract-Agreement, Contractor will be responsible for the coordination and hand-off of work/trades with the newly Assigned Contractor. Failure to coordinate this work will not relieve original Contractor of their obligations and shall not constitute additional cost as governed by the Lump Sum Contract Award.

**ASSIGNMENT OF CONTRACTOR:** Contractor is responsible for supplying all required Personal Protective Equipment (PPE), including but not limited to the furnishing and appropriate use of: hard hat(s), safety glasses, face shields, ear plugs, gloves, boots, fall protection (where required), breathing protection (where required), tie off ropes/apparatuses/points (where required), fire extinguishers, first aid kits, etc. Contractor is required to be familiar with and follow all OSHA and State of Florida's safety requirements.

- a) Contractor is to hold daily jobsite safety meetings that review the work to be performed, the hazards involved and the methods for reducing and eliminating such hazards, as well as maintain meeting records, - including attendance lists, which shall be kept onsite and available for SynergyNDS review at all times. Contractor shall be solely liable for any and all OSHA violations associated with his/her employees.
- b) SynergyNDS reserves the right to hold weekly progress meetings for which the Subcontractor shall attend. Contractor shall be responsible for daily cleanup of the work performed herein. Failure to cleanup daily after trade will result in cleanup supplementation at Contractor's cost. Twenty-Four (24) hour notice will be given prior to supplementation. Contractor shall be responsible for delivery, loading, unloading, storage, protection, etc. of all work provided herein.

**ENERGY EFFICIENCY:** The Contractor shall comply with all mandatory standards and policies relating to energy efficiency which are contained in the energy conservation plan issued in compliance with the Energy Policy and Conservation Act (Pub.L. 94-163) for the State in which the work under this contract is performed.

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**PROCUREMENT OF RECOVERED MATERIALS:** In accordance with Section 6002 of the Solid Waste Disposal Act, as amended by the Resource Conservation and Recovery Act, the Contractor shall procure items designated in guidelines of the Environmental Protection Agency (EPA) at 40 CFR Part 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition. The Contractor should procure items designated in the EPA Guidelines that contain the highest percentage of recovered materials practical unless the Contractor determines that such items:

- a) are not reasonably available in a reasonable period of time;
- b) fail to meet reasonable performance standards, which shall be determined on the basis of the guidelines of the National Institute of Standards and Technology;

**FAILURE TO COMPLY:** For failure to deliver in accordance with specifications, SynergyNDS may cancel the contract or any part thereof and purchase services on the open market, charging any additional cost to the Contractor. Contractor shall comply with all applicable state, federal and local codes, and pay all permits, licenses and certificates, and other fees as required by the work.

**INSURANCE & LICENSING REQUIREMENTS:** Before starting work, the Contractor will provide SynergyNDS proof of Worker's Compensation and Commercial and Public Liability Insurance. The Contractor must be licensed to do business in the State of Florida and SynergyNDS must be named as an additional insured on general liability insurance certificate. Contractor will need to go to [www.synergynnds.com](http://www.synergynnds.com) and complete the initial registration for the Managed Vendor Program (MVP). Contractor will be required to upload the following information (when applicable) prior to contract award and eligible material deposits.

- a) The Contractor will carry Worker's Compensation Insurance for all employees engaged in work at the site, in accordance with State or Territorial Worker's Compensation Laws.
- b) Commercial and Public Liability with bodily injury and property damage limits will be at a combined single limit of at least \$500,000 to protect the contractor and each subcontractor against claims for injury to or death of one or more persons.
- c) Automobile Liability on owned and non-owned motor vehicles used on the site(s), or in connection with the sites, for a combined single limit for bodily injury and property damages of not less than \$500,000.00 per occurrence.
- d) Builder's Work Insurance limit of at least \$5,000.00 per occurrence and \$10,000.00 aggregate.
- e) Professional Liability \$1,000,000 per occurrence (if applicable).

Contractor will not allow insurance coverage to lapse and will provide SynergyNDS with updated Certificates of Insurance as necessary. All policies must provide that at least thirty (30) days' notice of cancellation will be given to SynergyNDS. All Contractor employees &/or subcontractors are bound by the Insurance Requirement. Contractor is the sole responsible party for all its Employee &/or SubContractor infractions, accidents, damages and all general liability concerns that occur, whether directly or indirectly, as related to Contracted Scope-of-Work.

**The certificate holder(s) must be noted as:**

Synergy NDS, Inc.  
1400 Sarno Rd  
Melbourne, FL 3293

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## **FEDERAL CONTRACT REQUIREMENTS ONLY (In a Declared Event)**

If stated in the IFB, the Contractor and its subcontractors must follow the provisions, as applicable, as set forth in 2 C.F.R. §200.326 Contract provisions and Appendix II to 2 C.F.R. Part 200, as amended, including but not limited to:

9.29.1 Davis-Bacon Act, as amended (40 U.S.C. §§3141-3148). When required by Federal program legislation, which includes emergency Management Preparedness Grant Program, Homeland Security Grant Program, Nonprofit Security Grant Program, Tribal Homeland Security Grant Program, Port Security Grant Program and Transit Security Grant Program, all prime construction contracts in excess of \$2,000 awarded by non-Federal entities must comply with the Davis-Bacon Act (40 U.S.C. §§3141-3144, and §§3146-3148) as supplemented by Department of Labor regulations (29 CFR Part 5, “Labor Standards Provisions Applicable to Contracts Covering Federally Financed and Assisted Construction”). In accordance with the statute, contractors must be required to pay wages to laborers and mechanics at a rate not less than the prevailing wages specified in a wage determination made by the Secretary of Labor. In addition, contractors must be required to pay wages not less than once a week. If applicable, SynergyNDS must place a current prevailing wage determination issued by the Department of Labor in each solicitation. The decision to award a contract or subcontract must be conditioned upon the acceptance of the wage determination. SynergyNDS must report all suspected or reported violations to the Federal awarding agency. When required by Federal program legislation, which includes emergency Management Preparedness Grant Program, Homeland Security Grant Program, Nonprofit Security Grant Program, Tribal Homeland Security Grant Program, Port Security Grant Program and Transit Security Grant Program (it does not apply to other FEMA grant and cooperative agreement programs, including the Public Assistance Program), the contractors must also comply with the Copeland “Anti-Kickback” Act (40 U.S.C. § 3145), as supplemented by Department of Labor regulations (29 CFR Part 3, “Contractors and Subcontractors on Public Building or Public Work Financed in Whole or in Part by Loans or Grants from the United States”). As required by the Act, each contractor or subrecipient is prohibited from inducing, by any means, any person employed in the construction, completion, or repair of public work, to give up any part of the compensation to which he or she is otherwise entitled. SynergyNDS must report all suspected or reported violations to the Federal awarding agency.

1. Contractor. The contractor shall comply with 18 U.S.C. § 874, 40 U.S.C. § 3145, and the requirements of 29 C.F.R. pt. 3 as may be applicable, which are incorporated by reference into this contract.
2. Subcontracts. The Contractor or subcontractor shall insert in any subcontracts the clause above and such other clauses as the FEMA may by appropriate instructions require, and also a clause requiring the subcontractors to include these clauses in any lower tier subcontracts. The prime contractor shall be responsible for the compliance by any subcontractor or lower tier subcontractor with all of these contract clauses.
3. Breach. A breach of the contract clauses above may be grounds for termination of the contract, and for debarment as a contractor and subcontractor as provided in 29 C.F.R. § 5.12.

9.29.2 Contract Work Hours and Safety Standards Act (40 U.S.C. 3701-3708). Where applicable, which includes all FEMA grant and cooperative agreement programs, all contracts awarded by SynergyNDS in excess of

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\$100,000 that involve the employment of mechanics or laborers must comply with 40 U.S.C. §§ 3702 and 3704, as supplemented by Department of Labor regulations (29 CFR Part 5). Under 40 U.S.C. §3702 of the Act, each contractor must compute the wages of every mechanic and laborer on the basis of a standard work week of 40 hours. Work in excess of the standard work week is permissible provided that the worker is compensated at a rate of not less than one and a half times the basic rate of pay for all hours worked in excess of 40 hours in the work week. The requirements of 40 U.S.C. 3704 are applicable to construction work and provide that no laborer or mechanic must be required to work in surroundings or under working conditions which are unsanitary, hazardous or dangerous. These requirements do not apply to the purchases of supplies or materials or articles ordinarily available on the open market, or contracts for transportation or transmission of intelligence.

9.29.3 Rights to Inventions Made Under a Contract or Agreement. If the Federal award meets the definition of “funding agreement” under 37 CFR §401.2 (a) and the recipient or subrecipient wishes to enter into a contract with a small business firm or nonprofit organization regarding the substitution of parties, assignment or performance of experimental, developmental, or research work under that “funding agreement,” the recipient or subrecipient must comply with the requirements of 37 CFR Part 401, “Rights to Inventions Made by Nonprofit Organizations and Small Business Firms Under Government Grants, Contracts and Cooperative Agreements,” and any implementing regulations issued by the awarding agency.

9.29.4 Clean Air Act (42 U.S.C. 7401-7671q.) and the Federal Water Pollution Control Act (33 U.S.C. 1251-1387). Contractor agrees to comply with all applicable standards, orders or regulations issued pursuant to the Clean Air Act (42 U.S.C. §§7401-7671q) and the Federal Water Pollution Control Act as amended (33 U.S.C. §§1251-1387) and will report violations to FEMA and the Regional Office of the Environmental Protection Agency (EPA). The Clean Air Act (42 U.S.C. 7401-7671q.) and the Federal Water Pollution Control Act (33 U.S.C. 1251-1387), as amended—applies to Contracts and subgrants of amounts in excess of \$150,000.

9.29.5 Debarment and Suspension (Executive Orders 12549 and 12689)—A contract award (see 2 CFR 180.220) must not be made to parties listed on the governmentwide exclusions in the System for Award Management (SAM), in accordance with the OMB guidelines at 2 CFR 180 that implement Executive Orders 12549 (3 CFR part 1986 Comp., p. 189) and 12689(3 CFR part 1989 Comp., p. 235), “Debarment and Suspension.” SAM Exclusions contains the names of parties debarred, suspended, or otherwise excluded by agencies, as well as parties declared ineligible under statutory or regulatory authority other than Executive Order 12549.

9.29.6 Byrd Anti-Lobbying Amendment (31 U.S.C. 1352)—Contractors that apply or bid for an award exceeding \$100,000 must file the required certification. Each tier certifies to the tier above that it will not and has not used Federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any Federal contract, grant or any other award covered by 31 U.S.C. 1352. Each tier must also disclose any lobbying with non- Federal funds that takes place in connection with obtaining any Federal award. Such disclosures are forwarded from tier to tier up to the non-Federal award.

9.29.7 Compliance with Procurement of recovered materials as set forth in 2 CFR § 200.322. CONTRACTOR must comply with section 6002 of the Solid Waste disposal Act, as amended, by the Resource Conservation and Recovery Act. The requirements of Section 6002 include procuring only items designated in guidelines of the Environmental Protection Agency (EPA) at 40 CFR part 247 that contain the highest percentage of recovered

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materials practicable, consistent with maintaining a satisfactory level of competition, where the purchase price of the item exceeds \$10,000 or the value of the quantity acquired during the preceding fiscal year exceeded \$10,000; procuring solid waste management services in a manner that maximizes energy and resource recovery; and establishing an affirmative procurement program for procurement of recovered materials identified in the EPA guidelines.

### **OTHER FEDERAL REQUIREMENTS (In a Declared Event)**

9.29.9 Americans with Disabilities Act of 1990, as amended (ADA) – The CONTRACTOR will comply with all the requirements as imposed by the ADA, the regulations of the Federal government issued thereunder, and the assurance by the CONTRACTOR pursuant thereto.

9.29.10 Disadvantaged Business Enterprise (DBE) Policy and Obligation - It is the policy of SynergyNDS that DBE's, as defined in 49 C.F.R. Part 26, as amended, shall have the opportunity to participate in the performance of contracts financed in whole or in part with SYNERGYNDS funds under this Agreement. The DBE requirements of applicable federal and state laws and regulations apply to this Agreement. SynergyNDS and its CONTRACTOR agree to ensure that DBE's have the opportunity to participate in the performance of this Agreement. In this regard, all recipients and contractors shall take all necessary and reasonable steps in accordance with 2 C.F.R. § 200.321( as set forth in detail below), applicable federal and state laws and regulations to ensure that the DBE's have the opportunity to compete for and perform contracts. SynergyNDS and the CONTRACTOR and subcontractors shall not discriminate on the basis of race, color, national origin or sex in the award and performance of contracts, entered pursuant to this Agreement. 2 C.F.R. § 200.321 CONTRACTING WITH SMALL AND MINORITY BUSINESSES, WOMEN'S BUSINESS ENTERPRISES, AND LABOR SURPLUS AREA FIRMS

- a) If the CONTRACTOR, with the funds authorized by this Agreement, seeks to subcontract goods or services, then, in accordance with 2 C.F.R. §200.321, the CONTRACTOR shall take the following affirmative steps to assure that minority businesses, women's business enterprises, and labor surplus area firms are used whenever possible.
- b) Affirmative steps must include:
  - I. Placing qualified small and minority businesses and women's business enterprises on solicitation lists;
  - II. Assuring that small and minority businesses, and women's business enterprises are solicited whenever they are potential sources;
  - III. Dividing total requirements, when economically feasible, into smaller tasks or quantities to permit maximum participation by small and minority businesses, and women's business enterprises;
  - IV. Establishing delivery schedules, where the requirement permits, which encourage participation by small and minority businesses, and women's business enterprises;
  - V. Using the services and assistance, as appropriate, of such organizations as the Small Business Administration and the Minority Business Development Agency of the Department of Commerce.

## **INVITATION FOR BID (IFB)**

VI. Requiring the Prime contractor, if subcontractor are to be let, to take the affirmative steps listed in paragraph (1) through (5) of this section.

9.30 The Contractor shall utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the Contractor during the term of the Contract and shall expressly require any subcontractors performing work or providing services pursuant to the Contract to likewise utilize the U.S. Department of Homeland Security's E-Verify system to verify the employment eligibility of all new employees hired by the subcontractor during the Contract term.

9.31 If attached, the CONTRACTOR is bound by the terms and conditions of the Federally-Funded Subaward and Grant Agreement between SYNERGYNDS and the Florida Division of Emergency Management (Division).

9.32 The CONTRACTOR shall hold the Division and SYNERGYNDS harmless against all claims of whatever nature arising out of the CONTRACTOR's performance of work under this Agreement, to the extent allowed and required by law.

**\*\* THE REMAINING PART OF THIS PAGE IS INTENTIONALLY LEFT BLANK \*\***

# IFB – CONTRACTOR SUBMITTAL FORM

IFB Number	Scope Number	Closing Date	Closing Time	Return IFB Submittal
GC2018092542-6908	5133	2/21/2020	4:00pm EST	bids@synergynds.com

Company Name:

Address Line 1:

Address Line 2:

City:

State:

Zip Code:

Contractor Certification: ☐ DBE ☐ WBE/WOSB ☐ HUB ☐ SDVOSB/VOSB

## CONTRACTOR LUMP SUM PROPOSAL:

IFB TITLE	Stabilize and set with new footers	PROPOSAL:	\$
IFB TITLE	Click or tap here to enter text.	PROPOSAL:	\$
IFB TITLE	Click or tap here to enter text.	PROPOSAL:	\$
IFB TITLE	Click or tap here to enter text.	PROPOSAL:	\$

Material Deposit | ☐ Required | ☐ Requested | in the amount of \$

***I, having the legal authorization to represent the "Company" (the undersigned) have read and understood all previous 1-9 pages and the subsequent Attached Exhibits in accordance to the applicable Terms & Conditions as described in the IFB Packet preceding the attached Contractor Submittal Form:***

Company Contact Name (Please Print)

Company Title (Please Print)

Signature

Date

\*Material Deposits &/or Advanced Payments require Contractor to complete online registration in the Managed Vendor Program (MVP). MVP has an annual \$49.99 Registration Fee to be part of the Contractor Direct Repair Program. Material Deposits &/or Advanced Payments will require a 2% Invoice Payment Discount.

# INVITATION FOR BID (IFB)

## GC2018092542-007002-Exhibit A

**Project Summary:** The City of Callaway owns a historical building known as The Old School House which sustained heavy damages as a result of Hurricane Michael. During the storm the building was displaced from its pier foundation causing the building to no longer be plumb nor stable. The purpose of the Invitation for Bid is to block and securing the building, build new pier foundation system, and secure the building to the new pier foundation with all walls plumb. This is a multiple phase project and current request for bid is only for the work as outlined below. Contractor shall provide notifications of any items which are not listed below but a contractor believes shall be included necessary to perform the work. Notifications shall be made in writing.

**Bidding Information:**

Bids are to be returned to: bids@synergynds.com

**Bid Line Items:**

Lump Sum for temporary cribbing of the schoolhouse, installing new concrete foundation system, moving and re-securing building on new foundation, and concrete slabs where identified.

**Location:**

Old School House  
522 Beulah Ave.  
Callaway, FL 32404

**Payments:**

Payments will be managed through the FMIT – TurnKey Recovery Program. Invoices are to be submitted to SynergyNDS for processing of payments.

**Work Scope:**

- Contractor shall coordinate all work with SynergyNDS.
- Link to project documents:
  - <https://1drv.ms/u/s!AuNb9cAWEd9jkQ5c8tNw5F8y-uF2?e=uTdnrP>
  - Above link has all project drawings and specification submittals.
- Protect persons, motor vehicles, surrounding surfaces of building, building site, plants, and surrounding buildings from harm resulting from historic treatment procedures.
- Provide shoring, bracing, and supports as necessary. Do not overload structural elements.
- Protect floors and other surfaces along haul routes from damage, wear, and staining.
- Retain as much existing material as possible; repair and consolidate rather than replace.

# INVITATION FOR BID (IFB)

## GC2018092542-007002-Exhibit A

- Use additional material or structure to reinforce, strengthen, prop, tie, and support existing material or structure.
- Use reversible processes wherever possible.
- Use historically accurate repair and replacement materials and techniques unless otherwise indicated.
- Record existing work before each procedure (preconstruction) and progress during the work with digital preconstruction documentation photographs.
- All construction materials must meet the requirements of the attached engineering plans and/or those required by local ordinances & laws; whichever is the more stringent.
- All work shall be done in accordance with provided engineer plans and submittal package.
  - The stabilization, foundations and anchoring of the Callaway School House, work includes remove and salvage existing siding and install sheathing and vapor barrier over existing wood framing.
  - Refer to sections: 02 41 19, 06 03 00, 06 10 00, & 08 01 52.93
- The contractor shall only reference portions of the submittal package which are specific to work note #1 in the attached drawings.
  - Place schoolhouse on temporary cribbing and prepare new foundations. Install new concrete block foundations with helical tiedowns. Carefully move schoolhouse from temporary cribbing, relocate, and set on new permanent foundations per the structural drawings.
  - Once schoolhouse is on temporary cribbing, the old piers shall be removed from the location.
  - The schoolhouse shall be aligned as per sheet A 102.
  - Contractor shall perform the work so that materials can be salvaged and reused.
- Contractor shall carefully remove existing siding in order to plumb the walls as indicated.
  - ½" wall sheathing with vapor barrier shall be installed on the walls and secured per code requirements.
- Contractor shall reference the US Department of the Interior; National Parks Service; Cultural Resources: Heritage Preservation Services Preservation Briefs for documentation regarding proper methods and treatments for completing the work.
- General Notes:
  - Florida Product Approval Sheets for all products is required to be provided with bid.
  - All warranty information for proposed materials shall be provided at time of contract award prior to release of any funds. (Where applicable).
  - Contractor shall keep the site clean and tidy at all times.
  - Dumpsters will be provided on site by SynergyNDS.

### **Reminder Notes:**

# **INVITATION FOR BID (IFB)**

## **GC2018092542-007002-Exhibit A**

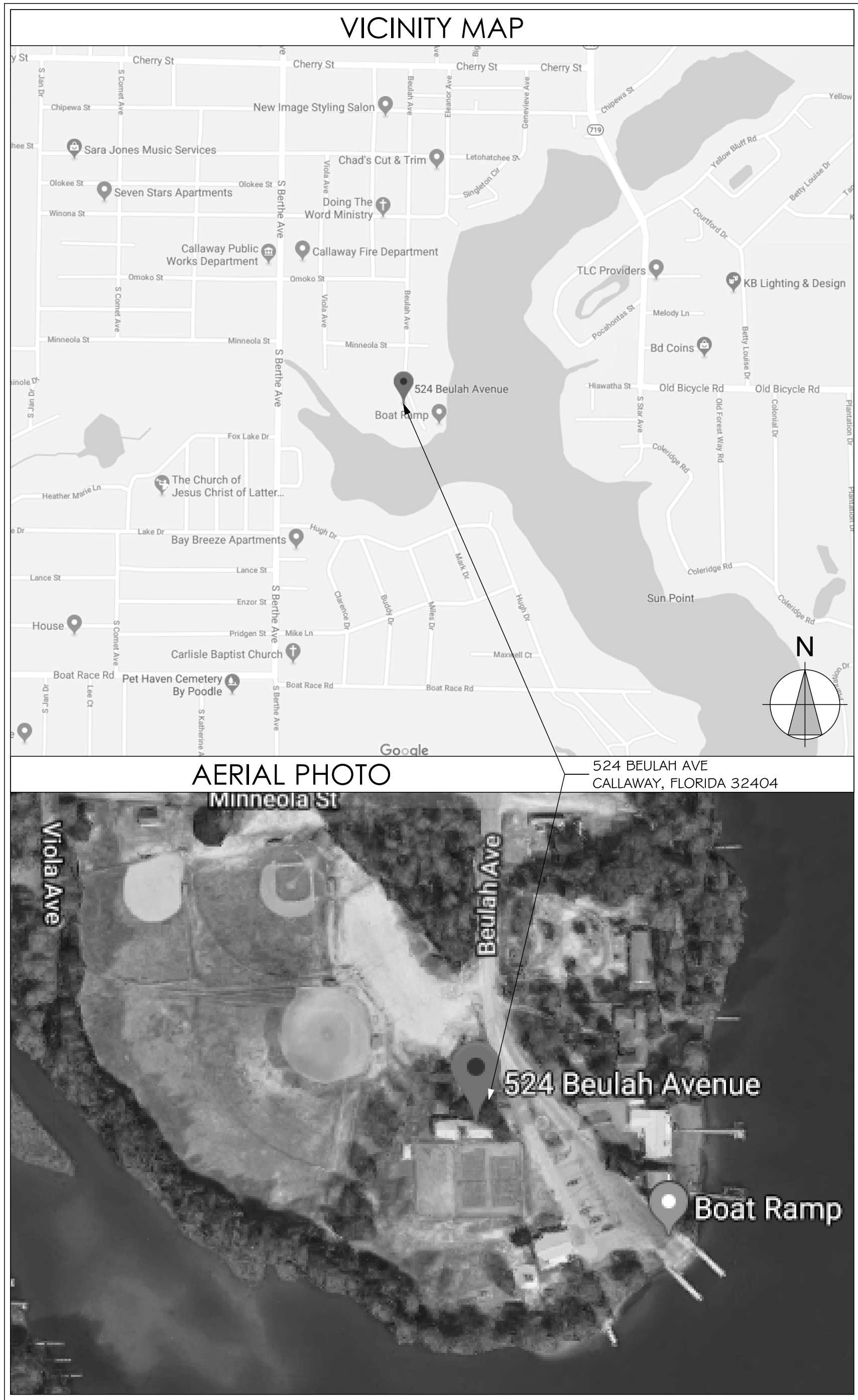
1. Contractor is responsible to validate all quantities and units of measurements specific to the scope items above. Information above is intended as a general guidance purpose only.
2. Contractor has the sole responsibility to ensure that all services and materials for bid submittal meet all codes and standards. This include that all work must be completed in order to meet all codes and standards.
3. Contractor should also consider method to stock/store materials at the jobsite in a safe and secure manner. SynergyNDS will not be responsible for lost or stolen materials, supplies, or equipment from the location.
4. Contractor is strongly encouraged to schedule a site visit of the property as necessary to support the IFB submittal.
5. Contractor can submit request for site visit, all questions &/or concerns to the specific IFB by emailing: [bids@synergynds.com](mailto:bids@synergynds.com)

# CALLAWAY HISTORIC SCHOOL HOUSE

## HURRICANE DAMAGE REPAIRS AND STABILIZATION

### SYNERGY NDS

### CALLAWAY, FLORIDA



SCOPE OF WORK
BRIEFLY AND WITHOUT FORCE AND EFFECT UPON THE CONTRACT DOCUMENTS, THE WORK OF THE CONTRACT CAN BE SUMMARIZED AS FOLLOWS:
THE STABILIZATION, FOUNDATIONS AND ANCHORING OF THE CALLAWAY SCHOOL HOUSE, WORK INCLUDES REMOVE AND SALVAGE EXISTING SIDING AND INSTALL SHEATHING AND VAPOR BARRIER OVER EXISTING WOOD FRAMING. FOLLOW PROPER PROCEDURES TO ENCAPSULATE LEAD PAINT ON EXISTING SALVAGED SIDING AND REINSTALL WHERE POSSIBLE. PRIME AND PAINT, 2 COATS TO MATCH EXISTING COLOR. INSTALL NEW SIDING AS NEEDED TO MATCH EXISTING SPECIES, SIZE AND PROFILES. THE SCOPE ALSO INCLUDES, THE REPAIR AND RESTORATION OF EXISTING WINDOWS AND DOORS INCLUDING LIMITED ASBESTOS AND LEAD PAINT ABATEMENT, REGLAZING, REPAIRING AND PATCHING DRY ROT AND DETERIORATED WOOD OF FRAMES, SASHES, AND MUTTINS. PRIMING AND PAINTING, 2 COATS. PORCH AND RAMP TO BE REBUILT TO MATCH EXISTING. REPLACEMENT OF THE EXISTING FIVE "V" CRIMP ROOF WITH NEW FIVE "V" CRIMP METAL ROOF SYSTEM, REPAIR OF SAGGING AND DAMAGED JOISTS AND EXISTING SHEATHING. ALSO, REPAIR, PREPARE, AND PAINT INTERIOR WALLS, CEILINGS, WINDOWS, AND DOORS, AND INSTALLATION OF NEW DOOR HARDWARE. THE SCOPE ALSO INCLUDES THE REMOVAL OF EXISTING OAK FLOORING AND INSTALLATION OF NEW SUB FLOOR AND HEART PINE FINISH FLOORING. CAREFULLY REMOVE AND REINSTALLATION OF BASE BOARD TRIM AND MOLDINGS, AND OTHER FINISHES AS NEEDED FOR FLOORING REPAIRS. INSTALL NEW FLOORING TO MATCH EXISTING SPECIES AND PROFILES AS NEEDED. CONTRACTOR TO ALSO INCLUDE THE INSTALLATION OF NEW ELECTRICAL SYSTEMS AND FIXTURES INCLUDING CONDUIT, CONDUCTORS, LIGHTING, ETC.
NATIONAL PARK SERVICE PRESERVATION BRIEFS
THIS IS A HISTORIC PROPERTY LISTED BY THE NATIONAL TRUST FOR HISTORIC PRESERVATION. ALL WORK TAKING PLACE ON THIS BUILDING SHALL BE IN ACCORDANCE WITH THE UNITED STATES SECRETARY OF INTERIOR'S GUIDELINES FOR HISTORIC RESTORATION AND THE NATIONAL PARK'S SERVICE PRESERVATION STANDARDS AND BRIEFS. ALL WORK IS EXPECTED TO BE HELD TO THE HIGHEST STANDARD OF CRAFTSMANSHIP AND SHALL EXCEED BEST PRACTICES AND INDUSTRY STANDARDS. ANY WORK NOT MEETING THIS HIGH EXPECTATION WILL BE REQUIRED TO BE REMOVED AND REINSTALLED.
04 ROOFING FOR HISTORIC BUILDINGS
09 THE REPAIR OF HISTORIC WOODEN WINDOWS
10 EXTERIOR PAINT PROBLEMS ON HISTORIC WOODWORK
16 THE USE OF SUBSTITUTE MATERIALS ON HISTORIC BUILDING EXTERIORS
17 ARCHITECTURAL CHARACTER-IDENTIFYING THE VISUAL ASPECTS OF HISTORIC BUILDINGS AS AN AID TO PRESERVING THEIR CHARACTER
18 REHABILITATING INTERIORS IN HISTORIC BUILDINGS-IDENTIFYING CHARACTER-DEFINING ELEMENTS
28 PAINTING HISTORIC INTERIORS
32 MAKING HISTORIC PROPERTIES ACCESSIBLE
37 APPROPRIATE METHODS OF REDUCING LEAD-PAINT HAZARDS IN HISTORIC HOUSING
39 HOLDING THE LINE: CONTROLLING UNWANTED MOISTURE IN HISTORIC BUILDINGS
44 THE USE OF AWNINGS ON HISTORIC BUILDINGS: REPAIR, REPLACEMENT AND NEW DESIGN
45 PRESERVING HISTORIC WOODEN PORCHES
47 MAINTAINING THE EXTERIOR OF SMALL AND MEDIUM SIZE HISTORIC BUILDINGS
DISCLAIMER
PER CHAPTER 119, FLORIDA STATE STATUTES, ALL DRAWINGS AND SPECIFICATIONS CONTAINED HEREIN ARE CONFIDENTIAL.
THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF MLD ARCHITECTS AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS WERE PREPARED FOR THE USE ON THIS SPECIFIC SITE IN CONJUNCTION WITH ITS ISSUE DATE AND ARE NOT SUITABLE FOR USE ON A DIFFERENT SITE OR AT A LATER TIME. USE OF THESE DRAWINGS FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED.
ELECTRONIC DISTRIBUTION OF THESE DOCUMENTS IS NOT AUTHORIZED, UNLESS SPECIFICALLY APPROVED BY PROJECT ARCHITECT IN WRITING.

BUILDING AND FIRE CODES
FLORIDA BUILDING CODE (FBC), 6TH EDITION (2017) FLORIDA ACCESSIBILITY CODE (FAC), 6TH EDITION (2017) FLORIDA BUILDING CODE EXISTING BUILDINGS (FBC-EB), 6TH EDITION (2017) NATIONAL ELECTRICAL CODE (NEC), 2014 EDITION FLORIDA FIRE PREVENTION CODE (FFPC), 6TH EDITION (2017) NFPA 72 NATIONAL FIRE ALARM CODE, 2013 EDITION ASCE STANDARD 7-10 (STRUCTURAL WIND LOAD CRITERIA)
FLORIDA PRODUCT APPROVAL: AS REQUIRED BY FLORIDA STATUTE 553.842 AND FLORIDA ADMINISTRATIVE CODE 9B-72, PROVIDE INFORMATION AND PRODUCT APPROVAL NUMBER(S) ON THE BUILDING COMPONENTS UTILIZED ON THE CONSTRUCTION PROJECT REQUIRING PERMITTING AFTER APRIL 1, 2004. REFER TO WWW.FLORIDABUILDING.ORG FOR MORE INFORMATION.
DRAWING INDEX
G100 TITLE SHEET S100 STRUCTURAL NOTES S101 FOUNDATION AND FLOOR PLAN A000 ROOFING SCHEDULES & NOTES A100 ROOF PLAN A101 EXISTING PLAN A102 RENOVATION PLAN A200 EXTERIOR ELEVATIONS A201 EXTERIOR ELEVATIONS A202 EXTERIOR ELEVATIONS A500 DETAILS A501 DETAILS A700 PHOTOS A701 PHOTOS E100 ELECTRICAL NOTES & PLAN

CONSULTANTS

**KEVER | MCKEE**  
ENGINEERING

3370 Capital Circle NE, Ste. F  
Tallahassee, Florida 32308  
Office: 850.727.5367  
Authorization No. 31293

Patrick M. McKee, P.E.  
Florida PE No. 63122

**ARCHITECTS**

**ARCHITECTURE**  
**INTERIOR DESIGN**  
**BUILDING ENVELOPE**

211 JOHN KNOX RD, SUITE 105  
TALLAHASSEE, FL 32303  
PH: (850) 385 9200  
AA 26000006  
MLDARCHITECTS.COM

CALLAWAY HISTORIC SCHOOL HOUSE  
HURRICANE DAMAGE REPAIRS AND STABILIZATION  
SYNERGY NDS  
CALLAWAY, FLORIDA

100% SUBMITTAL

PROJ. NO.	142619
DATE	10/11/2019
DRAWN	JM
CHECKED	AW
APPROVED	JS
REVISION	
REVISION DATE	

TITLE SHEET

G100

1. GENERAL NOTES

- 1.1. THE GOVERNING CODE FOR THIS PROJECT IS THE FLORIDA BUILDING CODE 6th EDITION (2017). THIS CODE PRESCRIBES WHICH EDITION OF EACH REFERENCE STANDARD APPLIES TO THIS PROJECT. UNLESS OTHERWISE NOTED, ALL WORK AND MATERIALS SHALL CONFORM WITH THE GOVERNING BUILDING CODE AND ALL OTHER APPLICABLE FEDERAL, STATE AND LOCAL CODES, STANDARDS, REGULATIONS AND LAWS.
- 1.2. THE CONTRACTOR SHALL COORDINATE ALL CONTRACT DOCUMENTS WITH FIELD CONDITIONS, DIMENSIONS, AND PROJECT SHOP DRAWINGS PRIOR TO CONSTRUCTION. DO NOT SCALE DRAWINGS, USE ONLY PRINTED DIMENSIONS. REPORT ANY DISCREPANCIES OR FIELD CONDITIONS ENCOUNTERED IN CONFLICT WITH THE DRAWINGS IN WRITING TO THE ARCHITECT AND/OR ENGINEER PRIOR TO PROCEEDING WITH WORK. DO NOT CHANGE SIZE OR LOCATION OF STRUCTURAL MEMBERS WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT OR ENGINEER OF RECORD.
- 1.3. DETAILS LABELED AS "TYPICAL" APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY REFERENCED, WHETHER OR NOT THEY ARE KEYED IN AT EACH LOCATION.
- 1.4. THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTY, HIS OWN WORK, AND THE GENERAL PUBLIC FROM HARM. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, AND JOBSITE SAFETY INCLUDING ALL OSHA REQUIREMENTS. THE STRUCTURAL ENGINEER OF RECORD HAS NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION PERSONNEL RELATED TO THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS.

2. PROJECT SCOPE

- 2.1. THE PURPOSE OF THIS PROJECT IS TO CONSTRUCT A NEW NEW FOUNDATION, RESET THE BUILDING, AND REPAIR THE DAMAGE FROM HURRICANE MICHAEL.
- 2.2. PRIOR TO CONSTRUCTING THE FOUNDATION THE CONTRACTOR SHALL STABILIZE THE BUILDING, OBSERVE THE EXISTING FLOOR FRAMING SYSTEM AND TEMPORARY RELOCATE IT.
- 2.3. THE ENGINEER OF RECORD SHALL BE NOTIFIED ONCE THE FLOOR STRUCTURE HAS BEEN EXPOSED TO DETERMINE IF MODIFICATIONS TO THE SUPPORT STRUCTURE ARE NECESSARY.
- 2.4. ONCE IN PLACE THE CONTRACTOR SHALL REMOVE THE EXISTING SIDING AS NECESSARY TO PLUMB THE EXISTING STRUCTURE.
- 2.5. SAFETY AND THE METHODS USED TO PLUMB THE STRUCTURE ARE THE RESPONSIBILITY OF THE CONTRACTOR
- 2.6. ONCE PLUMB AND AFTER THE ANCHORAGE IS INSTALLED, THE CONTRACTOR SHALL SHEATH ALL OF THE EXISTING WALLS AND ROOF STRUCTURE AS INDICATED IN THESE DOCUMENTS.
- 2.7. PROVIDE NEW PURLINS TO RECEIVE NEW SHEATHING.

3. DESIGN SUPERIMPOSED LIVE LOADS

FLOOR LOAD	= 40 PSF
ROOF LOAD	= 20 PSF
STAIRS	= 100 PSF
GUARDRAILS	
TOP RAIL	= 200 LBS OR 50 PLF IN ANY DIRECTION
INTERMEDIATE RAIL	= 50 LBS OVER 12" x 12" AREA

4. WIND LOAD DESIGN CRITERIA (PER ASCE 7-10)

WIND SPEED (ULT/ASD)	= 135 MPH / 93 MPH
RISK CATEGORY	= II
WIND EXPOSURE CATEGORY	= C
ENCLOSURE CLASSIFICATION	= CLOSED
EDGE ZONE WIDTH (a)	= 3'-0"

5. EARTHWORK FOR STRUCTURES

- 5.1. ALLOWABLE SOIL BEARING CAPACITY IS ASSUMED TO BE 2,000 PSF ON UNDISTURBED SOILS OR COMPACTED STRUCTURAL FILL. CONTRACTOR SHALL OBTAIN THE SERVICES OF A QUALIFIED GEOTECHNICAL ENGINEER TO PERFORM ALL NECESSARY TESTING, VERIFY THE BEARING CAPACITY OF THE SOILS, AND MAKE RECOMMENDATIONS FOR SITE PREPARATION.
- 5.2. UNLESS NOTED OTHERWISE IN THE GEOTECHNICAL REPORT, ALL SOIL BELOW SLABS ON GRADE AND FOOTINGS SHALL BE COMPACTED TO A DEPTH OF 12 INCHES AT OPTIMUM MOISTURE CONTENT TO 95% OF THE MODIFIED PROCTOR, ASTM D1557. FILL SHALL BE PLACED AND COMPACTED IN LIFTS NO GREATER THAN 12 INCHES.

6. SLAB ON GRADE

- 6.1. ALL INTERIOR AND EXTERIOR SLABS ON GRADE SHALL BE A MINIMUM OF 4 INCHES THICK REINFORCED WITH 6x6 W1.4 x W1.4 WELDED WIRE MESH PLACED ON 6 MIL POLYETHYLENE SHEETING, UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS.
- 6.2. IN SIDEWALKS AND WALKWAYS, LOCATE ISOLATION JOINTS AT 20 FEET ON CENTER, MAXIMUM. SCORE AND TOOL BETWEEN ISOLATION JOINTS IN EQUAL BAYS OF 5 FEET OR LESS.

7. FORMWORK

- 7.1. DESIGN, ERECTION AND REMOVAL OF FORMWORK, AND SHORING AND RESHORING IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- 7.2. CONSTRUCTION, ERECTION, AND REMOVAL OF FORMWORK SHALL BE IN ACCORDANCE WITH ACI 301 AND 347.

8. REINFORCEMENT

- 8.1. ALL REINFORCING STEEL SHALL BE INTERMEDIATE GRADE BILLET STEEL CONFORMING TO ASTM A615, GRADE 60, WITH THE FOLLOWING MINIMUM SPLICE LENGTH.  
CONCRETE REINFORCEMENT = 36 BAR DIAMETERS U.N.O.  
MASONRY REINFORCEMENT = 48 BAR DIAMETERS U.N.O.
- 8.2. PROVIDE ADDITIONAL HORIZONTAL CORNER BARS TO MATCH MAIN HORIZONTAL REINFORCING STEEL AT ALL BEAMS, OR WALL INTERSECTIONS, CORNERS AND OTHER CONCRETE DIRECTIONAL CHANGES, INCLUDING FOOTINGS.
- 8.3. ALL BENDS, AND 90° AND 180° HOOKED BARS SHALL BE FABRICATED IN ACCORDANCE WITH ACI AND AS INDICATED IN THE STANDARD DETAILS.
- 8.4. REINFORCING SHALL BE ACCURATELY PLACED, RIGIDLY SUPPORTED AND FIRMLY TIED IN PLACE, WITH APPROPRIATE BAR SUPPORTS AND SPACERS.

7. CONCRETE

- 7.1. ALL CONCRETE CONSTRUCTION SHALL COMPLY WITH ACI 301 AND 318 AND CRSI STANDARDS.
- 7.2. PROVIDE STRUCTURAL CONCRETE WITH A MINIMUM ULTIMATE COMPRESSIVE DESIGN STRENGTH IN 28 DAYS OF:  
FOUNDATIONS 3,000 PSI/NW  
RETAINING WALL 4,000 PSI/NW
- 7.1. ALL CONCRETE SHALL BE NORMAL WEIGHT (NW), U.O.N.
- 7.2. CONTRACTOR SHALL MAKE SETS OF FOUR ACCEPTANCE CYLINDERS FOR STRENGTH TESTING FOR EACH 50 CUBIC YARDS OF CONCRETE PLACED. CYLINDERS SHALL BE MADE IN ACCORDANCE WITH ASTM C31 AND C172. TESTING SHALL BE PERFORMED BY AN ACI CERTIFIED TESTING LABORATORY AND SHALL BE PAID FOR BY THE CONTRACTOR. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND/OR STRUCTURAL ENGINEER OF ANY TEST NOT MEETING THE REQUIREMENTS OF THE SPECIFIED TESTS. COPIES OF REPORTS DOCUMENTING THE TEST RESULTS SHALL BE MAINTAINED BY THE CONTRACTOR AND MADE AVAILABLE UPON REQUEST.
- 7.3. PROVIDE COVER OVER REINFORCING STEEL AS FOLLOWS:
- |   |        |
|---|--------|
| CAST AGAINST & EXPOSED TO EARTH/WEATHER | 3"     |
| EXPOSED TO EARTH/WEATHER                |        |
| #6 THROUGH #18 REBAR                    | 2"     |
| #5 REBAR, W31/D31 WIRE OR SMALLER       | 1-1/2" |
| NOT EXPOSED TO EARTH/WEATHER            |        |
| SLABS, WALLS, JOISTS                    |        |
| #14 AND #18 REBAR                       | 1-1/2" |
| #11 REBAR AND SMALLER                   | 3/4"   |
| BEAMS AND COLUMNS                       |        |
| REINF, TIES, STIRRUPS, SPIRALS          | 1-1/2" |
- 7.1. CURE ALL CONCRETE SURFACES FOR A PERIOD OF SEVEN DAYS UNTIL AVERAGE COMPRESSIVE STRENGTH HAS REACHED 70% OF THE SPECIFIED 28 DAY STRENGTH. CURING SHALL BE BY PONDING, MOIST CURING WITH SAND OR ABSORPTIVE MATS KEPT CONTINUOUSLY WET, CONTINUOUS APPLICATION OF STEAM (NOT EXCEEDING 105° F) OR MIST SPRAY, WATERPROOF CURING PAPER, OR LIQUID MEMBRANE FORMING CURING COMPOUND. SELECTION OF CURING METHOD SHALL BE COMPATIBLE WITH THE FINISH TO BE APPLIED TO THE CONCRETE SURFACE.

8. CONCRETE MASONRY

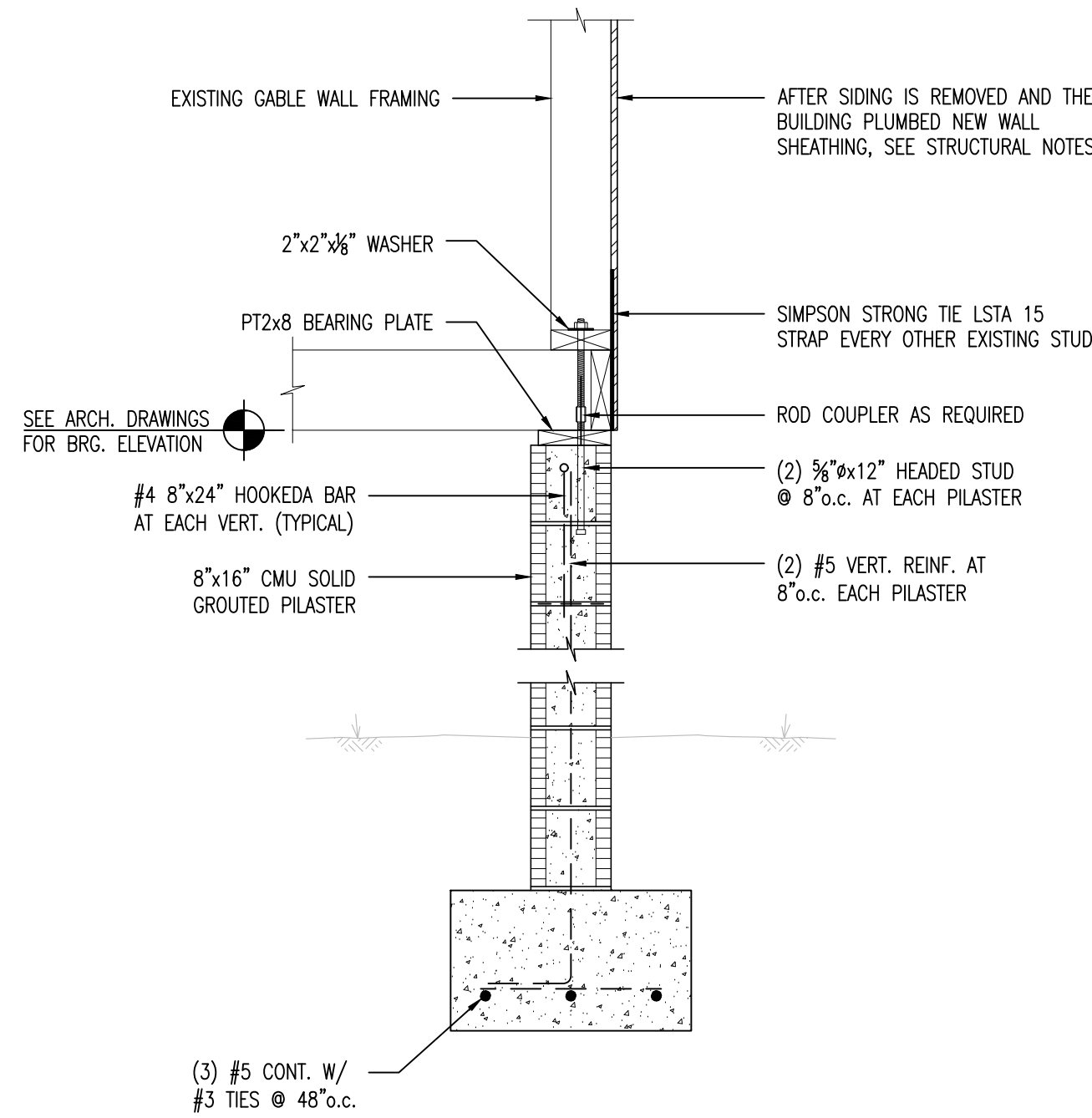
- 8.1. CONCRETE MASONRY MATERIALS AND CONSTRUCTION SHALL CONFORM WITH ACI 530.
- 8.2. COMPRESSIVE STRENGTH OF MASONRY SHALL BE DETERMINED BY THE UNIT STRENGTH METHOD AS SET FORTH IN ACI 530.1. THE NET AREA COMPRESSIVE STRENGTH OF MASONRY (f'm) SHALL BE 1,500 PSI AT 28 DAYS.
- 8.3. USE 50K SOLID CONCRETE MASONRY UNITS CONFORMING TO ASTM C90 WITH A MINIMUM NET AREA COMPRESSIVE STRENGTH OF 1,900 PSI AT 28 DAYS.
- 8.4. USE TYPE S MORTAR IN ACCORDANCE WITH ASTM C270 EXCEPT USE TYPE M MORTAR BELOW GRADE. HEAD AND BED JOINTS SHALL BE 3/8 INCH FOR THE THICKNESS OF THE FACE SHELL. WEBS ARE TO BE FULLY MORTARED IN ALL COURSES OF PIERS, COLUMNS AND PILASTERS, IN THE STARTING COURSE AND WHERE AN ADJACENT CELL IS TO BE GROUTED. REMOVE MORTAR PROTRUSIONS EXTENDING 1/2 INCH OR MORE INTO CELLS TO BE GROUTED.
- 8.5. USE FINE OR COURSE GROUT CONFORMING TO ASTM C476, WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI IN 28 DAYS. AGGREGATE SHALL CONFORM TO ASTM C404 FOR GROUT SELECTED, WITH SLUMP OF 8 INCHES TO 11 INCHES.

9. TIMBER FRAMING

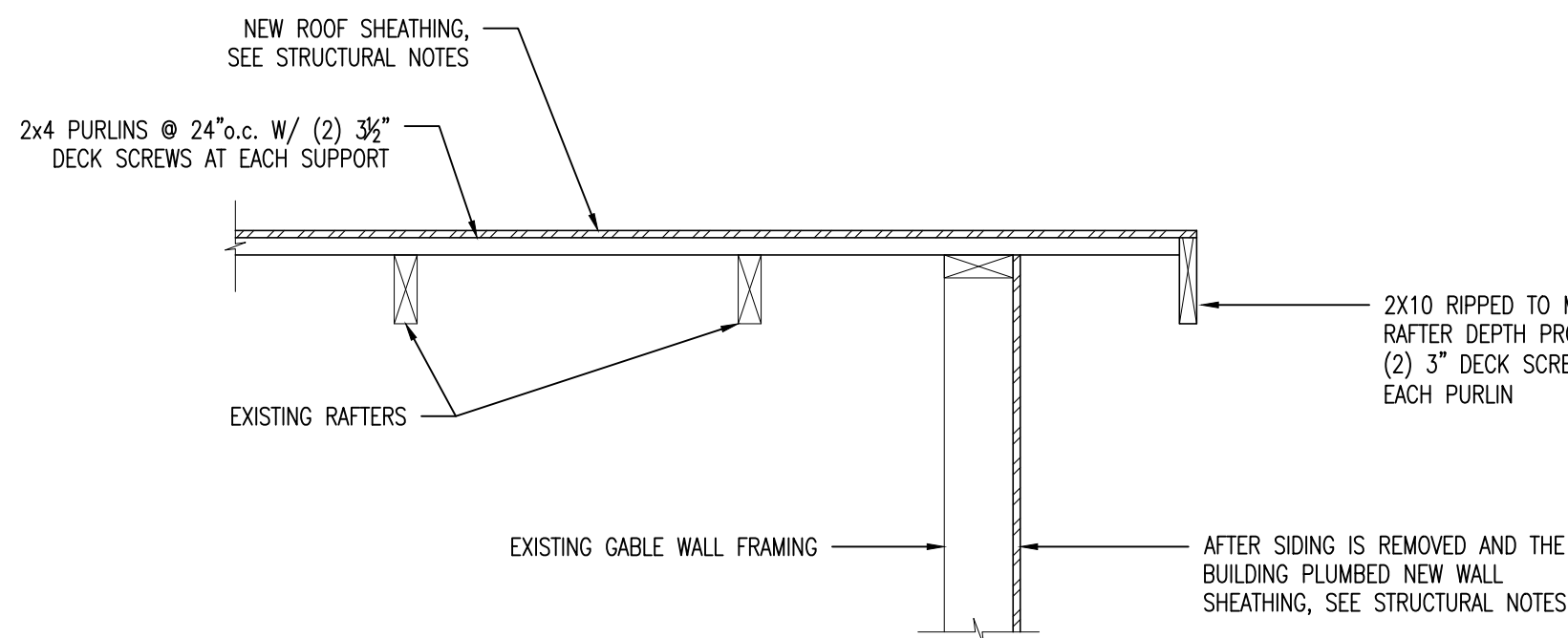
- 9.1. MISCELLANEOUS TIMBER FRAMING MEMBERS SHALL BE No. 2 SOUTHERN PINE, OR STRONGER, EXCEPT PROVIDE No. 1 SOUTHERN PINE FRAMING WHERE INDICATED.
- 9.2. PROVIDE PRESERVATIVE TREATED MEMBERS WHERE P.T. IS INDICATED AND AT OTHER LOCATIONS WHERE IN CONTACT WITH MASONRY/CONCRETE OR WHERE EXPOSED TO WEATHER.
- 9.3. HEADERS AND BEAMS CONSTRUCTED OF MULTIPLE MEMBERS SHALL BE SECURED WITH 3-10d NAILS @ 12"o.c. (EACH SIDE) MINIMUM.
- 9.4. EXCEPT WHERE FASTENERS ARE SPECIFIED, PROVIDE NAILING PATTERNS PER THE FBC. PROVIDE GALVANIZED FASTENERS WHERE INDICATED.
- 9.5. PRE-DRILL HOLES FOR THRU BOLTS AT NOMINAL BOLT DIAMETER PLUS 1/8".
- 9.6. PRE-DRILL LEAD HOLES FOR LAG SCREWS AS FOLLOWS:  
3/8" LAG SCREWS - LEAD HOLE TO BE 15/64"  
1/2" LAG SCREWS - LEAD HOLE TO BE 5/16"

10. WOOD SHEATHING

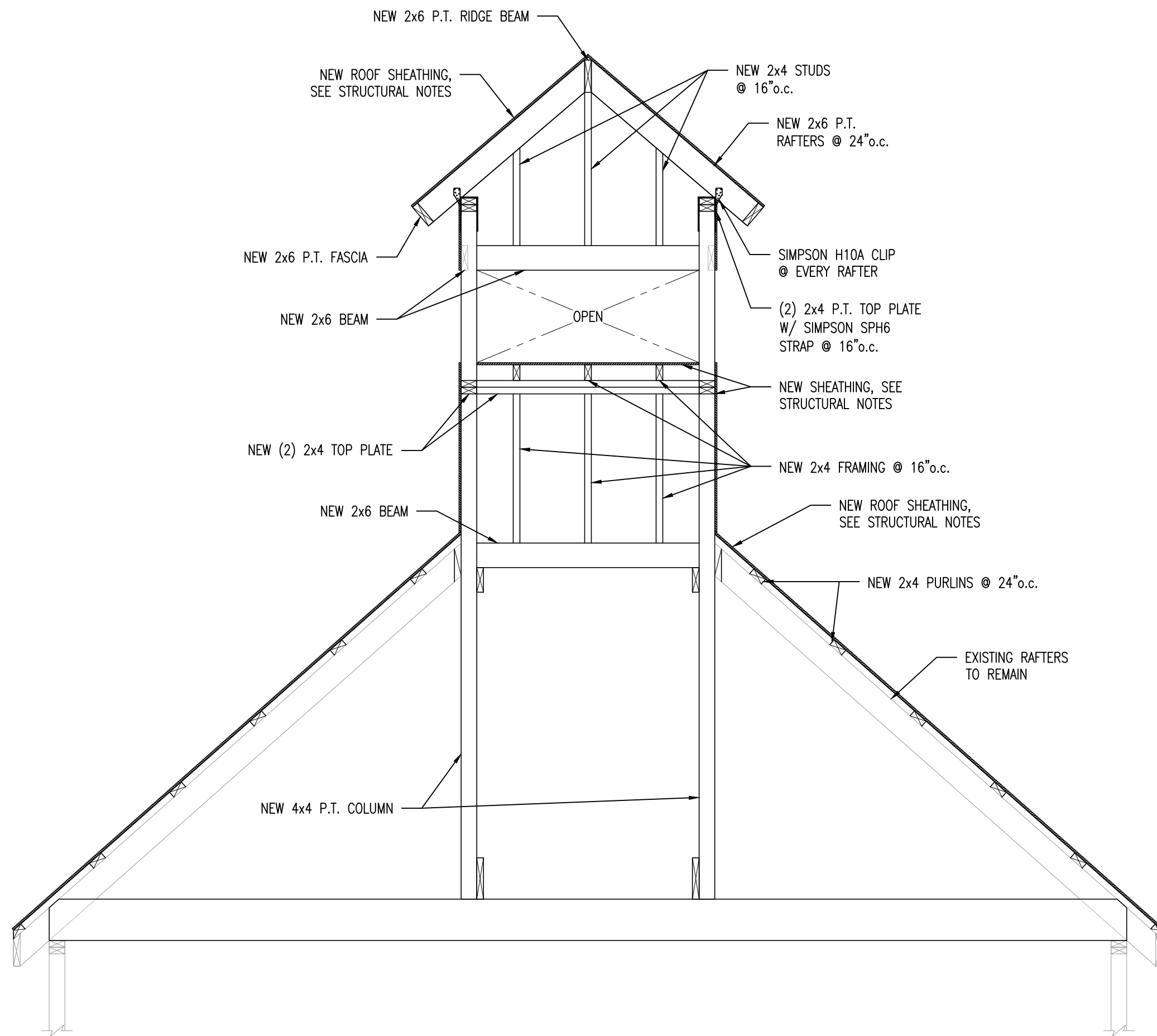
- 10.1. ROOF SHEATHING SHALL BE 5/8" PLYWOOD (RATED STRUCTURAL 1, STRENGTH INDEX 24/16) FASTEN WITH 8d RINGSHANK NAILS AT 4" ALONG PANEL EDGES INCLUDING BLOCKING AND OPENINGS AND 12" ALONG INTERMEDIATE SUPPORTING MEMBERS.
- 10.2. WALL SHEATHING SHALL BE 1/2" PLYWOOD (RATED STRUCTURAL 1, STRENGTH INDEX 24/16) FASTEN WITH 8d NAILS AT 4" ALONG PANEL EDGES INCLUDING BLOCKING AND OPENINGS AND 12" ALONG INTERMEDIATE SUPPORTING MEMBERS.



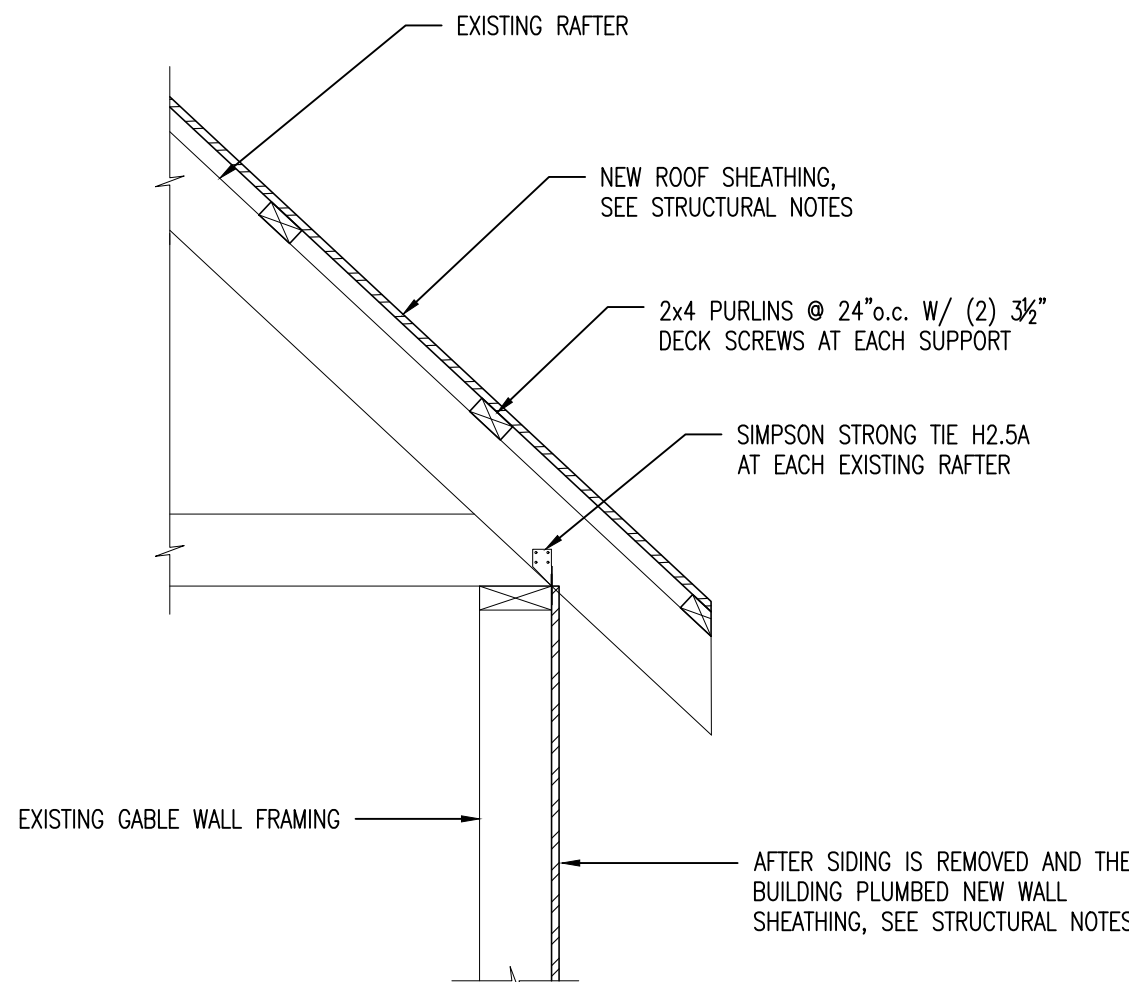
TYPICAL PILASTER DETAIL B S100  
SCALE: 3/4"=1'-0"



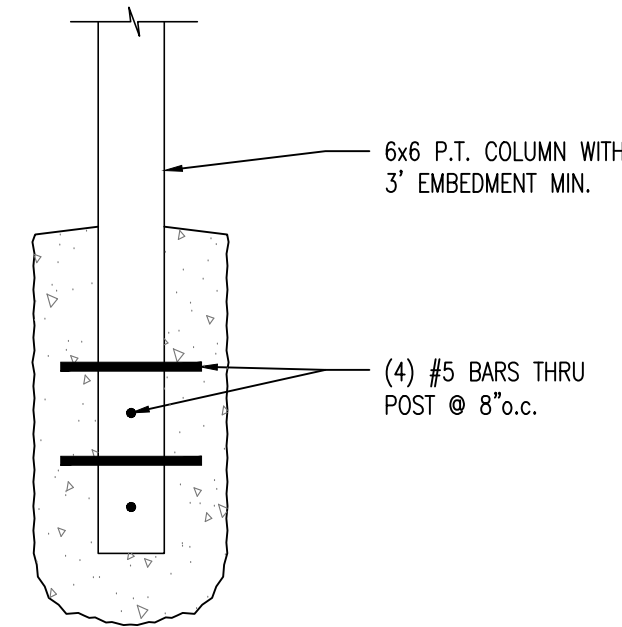
TYPICAL RAKE DETAIL C S100  
SCALE: 3/4"=1'-0"



NEW CUPOLA FRAMING DETAIL A S100  
SCALE: 1/2"=1'-0"



TYPICAL EAVE DETAIL D S100  
SCALE: 3/4"=1'-0"



NEW FOOTING DETAIL E S100  
SCALE: 3/4"=1'-0"

CONSULTANTS



CALLAWAY HISTORIC SCHOOL HOUSE HURRICANE  
DAMAGE REPAIRS AND STABILIZATION  
CPWG  
CALLAWAY, FLORIDA

100% SUBMITTAL

PROJ. NO.	142619
DATE	09/20/2019
DRAWN	LMA
CHECKED	PMM
APPROVED	PMM
REVISION	
REVISION DATE	

Structural Notes

S100



GENERAL NOTES

1. THIS IS A HISTORIC PROPERTY LISTED BY THE NATIONAL TRUST FOR HISTORIC PRESERVATION. ALL WORK TAKING PLACE ON THIS BUILDING SHALL BE IN ACCORDANCE WITH THE UNITED STATES SECRETARY OF INTERIOR'S GUIDELINES FOR HISTORIC RESTORATION AND THE NATIONAL PARK'S SERVICE PRESERVATION STANDARDS AND BRIEFS. ALL WORK IS EXPECTED TO BE HELD TO THE HIGHEST STANDARD OF CRAFTSMANSHIP AND SHALL EXCEED BEST PRACTICES AND INDUSTRY STANDARDS. ANY WORK NOT MEETING THIS HIGH EXPECTATION WILL BE REQUIRED TO BE REMOVED AND REINSTALLED.
2. THE EXISTING PLANS ARE FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND ALL CONDITIONS. IF THE CONTRACTOR IS UNABLE TO INTERPRET THE CONTRACT DOCUMENTS, HE IS RESPONSIBLE FOR REQUESTING CLARIFICATION IN WRITING TO THE ARCHITECT. IF THE CONTRACTOR PROCEEDS WITH ANY WORK BEFORE OBTAINING CLARIFICATION, HE SHALL BE HELD RESPONSIBLE FOR ALL DEFICIENCIES ASSOCIATED THERE WITHIN.
3. BEFORE SUBMITTING FOR THE WORK, EACH BIDDER WILL BE HELD TO HAVE EXAMINED THE PREMISES AND SATISFIED HIMSELF AS TO THE EXISTING CONDITIONS UNDER WHICH HE WILL BE OBLIGED TO OPERATE AND COMPLETE THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY IN THIS CONNECTION ON BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CLEAR EXIT WAYS. WHERE AN EXIT MUST BE TEMPORARILY BLOCKED, CONTRACTOR SHALL PROVIDE THE REQUIRED BARRICADE AND DIRECTIONAL SIGNS FOR TEMPORARY EXITING AND SAFETY.
5. CONTRACTOR SHALL ERECT AND MAINTAIN ALL REASONABLE SAFEGUARDS FOR SAFETY AND HEALTH INCLUDING POSTING DANGER SIGNS AND OTHER WARNINGS AGAINST HAZARDS, AS WELL AS POSTING APPLICABLE SAFETY REGULATIONS. CONTRACTOR SHALL PROVIDE SAFETY PRECAUTIONS AND BARRICADES FOR PEDESTRIANS AT CONSTRUCTION, VEHICLE ACCESS AND EGRESS LOCATIONS.
6. OPERATIONS OF THE NEIGHBORING FACILITIES SHALL CONTINUE DURING DEMOLITION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SEQUENCE DEMOLITION AND CONSTRUCTION TO MINIMIZE INTERRUPTIONS TO NORMAL OPERATIONS OF THESE FACILITIES.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE AND SEQUENCE DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A COMPLETELY DETAILED CONSTRUCTION SCHEDULE AND PLAN PRIOR TO PRE-CONSTRUCTION CONFERENCE.
8. CONTRACTOR SHALL BE RESTRICTED TO AREAS SPECIFIED BY OWNER FOR ON SITE STORAGE OF CONSTRUCTION MATERIALS. COMPARTMENT TRAILERS OR SIMILAR PROTECTIVE STORAGE FACILITIES MAY BE UTILIZED ON SITE TO SECURE ALL EQUIPMENT AND ITEMS REMOVED DURING PROJECT WORK. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND SECURITY OF ALL EQUIPMENT AND ITEMS REMOVED.
9. CONTRACTOR TO PROVIDE TEMPORARY UTILITIES UNTIL EXISTING FEEDS ARE CONNECTED AND MADE AVAILABLE AT PROJECT JOB SITE.
11. ALL WORK SHALL COMPLY WITH APPLICABLE OSHA AND E.P.A. REGULATIONS AND GUIDELINES.
12. INSTALL WORK IN ACCORDANCE WITH THE CODES LISTED ON THE COVER SHEET. WHERE CONFLICTS OCCUR BETWEEN CODES AND BETWEEN THE CONSTRUCTION DOCUMENTS AND CODES, THE MOST RESTRICTIVE REQUIREMENTS SHALL GOVERN.
13. CONTRACTOR SHALL FURNISH "AS-BUILT" DRAWINGS TO THE ARCHITECT AT COMPLETION OF THE CONSTRUCTION. CHANGES SHALL BE INDICATED CLEARLY BY MECHANICAL DRAFTING METHODS.
14. CONTRACTOR SHALL MAINTAIN A CLEAN WORK PREMISES AT ALL TIMES AND SHALL CLEAN CONSTRUCTION SITE OF ALL DEBRIS DAILY.
15. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING SURFACES AND SHALL BE RESPONSIBLE FOR RETURNING DAMAGED AREAS (MATERIALS, FINISHES, LANDSCAPE, ETC.) TO THEIR ORIGINAL CONDITION. ALL DISTURBED AREAS OF SOIL TO BE SODDED. ALL PLANTING REPLACEMENT TO BE GUARANTEED FOR ONE YEAR.
16. CONTRACTOR SHALL ERECT ALL SAFEGUARDS TO PROTECT AREAS ADJACENT TO BUILDING SITES. INSTALL SILT FENCING AS REQUIRED TO CONTAIN CONSTRUCTION RUNOFF. REMOVE DEBRIS FROM JOB SITE DAILY AND ADHERE TO ENVIRONMENTAL REGULATIONS.
17. CONTRACTOR AND INSTALLER SHALL PROVIDE 2 YEAR UNLIMITED LABOR AND MATERIAL WARRANTY ON ROOFING SYSTEMS, JOINT SEALANT, PAINTING AND COATING SYSTEMS.
18. CONTRACTOR SHALL LIST AN EMERGENCY TELEPHONE NUMBER WHERE HE OR SHE MAY BE REACHED 24 HOURS A DAY, SEVEN DAYS A WEEK, DURING THE ENTIRE PERIOD OF CONTRACT TIME. THIS TELEPHONE NUMBER SHALL BE PROVIDED AT THE PRECONSTRUCTION CONFERENCE.
19. PAINT SAMPLING TESTED POSITIVE FOR LEAD AND WINDOW GLAZING COMPOUND TESTED POSITIVE FOR ASBESTOS CONTAINING MATERIAL. CONTRACTOR SHALL TAKE CARE TO FOLLOW PROPER PROCEDURES WHEN DISPOSING OF ANY AND ALL LEAD AND ASBESTOS CONTAINING MATERIAL.
20. ALL WORK SHALL COMPLY WITH THE 2017 FLORIDA BUILDING CODE, SIXTH EDITION.

WORK NOTES

- FOUNDATION:
- 1 PLACE SCHOOLHOUSE ON TEMPORARY CRIBBING AND PREPARE NEW FOUNDATIONS. INSTALL NEW CONCRETE BLOCK FOUNDATIONS WITH HELICAL TIEDOWNS. CAREFULLY MOVE SCHOOLHOUSE FROM TEMPORARY CRIBBING, RELOCATE AND SET ON NEW PERMANENT FOUNDATIONS PER THE STRUCTURAL DRAWINGS. CONTRACTOR TO ALIGN THE HOUSE SO THE NEW RAMP ALIGNS WITH THE EXISTING CONCRETE SIDEWALK AS NOTED IN RENOVATION PLAN, SHEET A102. THE CONTRACTOR WILL ANY REPAIR DAMAGES ASSOCIATED WITH RELOCATION TO THE EXISTING BUILDING RESULTING FROM ANY PREPARATION, MOVING AND RELOCATION PROCEDURES. CONTRACTOR WILL REPAIR ALL DAMAGED ITEMS PRIOR TO COMPLETION OF THIS PROJECT.
- SIDING REPAIR:
- 2 REMOVE AND SALVAGE EXISTING COVE SHIPLAP SIDING ON EAST AND WEST FAÇADE TO NEAREST FRAMING MEMBER AND INSTALL NEW SHEATHING TO HOLD PLUMB, VAPOR BARRIER AND SALVAGED WOOD SIDING STAGGERED. CONTRACTOR TO SUPPLEMENT SIDING TO MATCH EXISTING SPECIES AND PROFILES. BACK PRIME NEW SIDING WITH PREMIUM OIL BASED PRIMER, PRIOR TO INSTALLATION, SEAL ALL END GRAIN OF REPLACEMENT WOOD SIDING.
- BASE BID TO INCLUDE 200 BOARD FOOT OF DETERIORATION WOOD REPLACEMENT OF EXISTING SIDING. ADD/DEDUCT OF \$\_\_\_\_/BOARD FOOT FOR ADDITIONAL WOOD DETERIORATION REPLACEMENT.
- ROOF:
- 3 CAREFULLY REPAIR EXISTING ROOF PER THE STRUCTURAL DRAWINGS. SISTER REMAINING HISTORIC JOISTS.
- 4 RECONSTRUCT SALVAGED HISTORIC BELL TOWER TO MATCH EXISTING INSTALLATION WITH NEW PREFINISHED ALUMINUM CHANNEL AND BASEFLASHING.
- 5 INSTALL NEW PLYWOOD SHEATHING. INSTALL SYNTHETIC WATERPROOFING UNDERLAYMENT OVER ROOF DECKING AND SELF ADHERED RUBBERIZED ASPHALT UNDERLAYMENT ALONG THE RIDGE AND PERIMETER OF ROOF EDGE. INSTALL 24" WIDE 5V CRIMP METAL ROOF PANELS WITH GROMMETED/SELF SEALING STAINLESS STEEL SCREWS PER MANUFACTURER'S FASTENING RECOMMENDATIONS TO MEET FBC WIND UPLIFT REQUIREMENTS INTO ROOF DECKING. INSTALL PREFINISHED METAL VENTED RIDGE CAP, RAKE FLASHING, AND EDGE METAL TRIM AS DETAILED.
- PORCH:
- 6 REMOVE AND SALVAGE EXISTING STAIRS AND PORCH AT MAIN ENTRYWAY. CONTRACTOR TO SUPPLEMENT MISSING POSTS, BALUSTRADES, AND DECKING TO MATCH EXISTING SPECIES, SIZE AND PROFILES.
- 7 INSTALL NEW PRESSURE TREATED WOOD RAMP, HANDRAILS, AS DETAILED AND INDICATED IN THE DRAWINGS TO MATCH ADJACENT PORCH PROFILES.
- 8 REINSTALL EXISTING ENTRY CANOPY. SUPPLEMENT MISSING/DAMAGED ELEMENTS TO MATCH ORIGINAL CONSTRUCTION.
- 9 REBUILD NEW SIDE PORCH AND CANOPY. INSTALL NEW PRESSURE TREATED WOOD POST, BALUSTRADE, HANDRAILS, AND WOOD TREADS/RISERS AS DETAILED AND INDICATED IN THE DRAWINGS TO MATCH ENTRYWAY PORCH PROFILES.
- 10 PROVIDE A LEVEL CONCRETE LANDING AT BOTTOM OF RAMP AND STAIRS, AS DETAILED.
- WINDOW AND DOOR RESTORATION:
- NOTE: PAINT SAMPLING TESTED POSITIVE FOR LEAD AND GLAZING COMPOUND TESTED POSITIVE FOR ASBESTOS CONTAINING MATERIAL.
- A. CUT OUT, SCRAPE AND REMOVE ALL EXISTING PERIMETER GLAZING COMPOUND BETWEEN GLASS AND WOOD MUTTONS AND SASH OF ALL EXTERIOR WINDOWS AND TRANSOMS UNLESS NOTED OTHERWISE. COMPLY WITH ABATEMENT PROCEDURES FOR ASBESTOS CONTAINING GLAZING COMPOUND.
- B. REPLACE ALL SEVERELY DETERIORATED WINDOW AND DOOR COMPONENTS WITH NEW COMPONENTS TO MATCH EXISTING. AT SMALL AREAS OF WOOD ROT, CONTRACTOR TO REMOVE ALL LOOSE AND UNSALVAGEABLE WOOD TO SOUND SUBSTRATE. ALL SOFT BUT SALVAGEABLE WOOD SHALL BE SATURATED WITH MINWAX WOOD HARDENER AND RESTORED WITH MINWAX EPOXY WOOD FILLER TO MATCH EXISTING WOOD PROFILES.
- C. CLEAN RABBET GROOVE OF WOOD WINDOW MUNTINS AND SASH OF ALL OLD GLAZING COMPOUND AND PAINT TO BARE WOOD. SAND, SEAL WITH LINSEED OIL AND PRIME WITH OIL BASED PRIMER. REPLACE ALL BROKEN GLASS WITH NEW HISTORIC GLASS TO MATCH EXISTING, SECURE NEW AND EXISTING GLASS WITH PUSH POINTS.
- D. MILDEW PREVENTIVE (M-1) TO BE ADDED TO LINSEED OIL, GLAZING COMPOUND, PRIMERS AND PAINT.
- E. REGLAZE ALL WOOD EXTERIOR WINDOWS, CONTRACTOR TO CLEAN AND PREPARE, PRIME AND GLAZE WOOD WINDOW FOR APPROVAL TO BE BASIS FOR QUALITY CONTROL.
- F. PRIME (OIL BASED PRIMER) AND PAINT 2 COATS OVER GLAZING COMPOUND AT ALL EXTERIOR WINDOWS. CLEAN, PRIME, AND PAINT EXTERIOR AND INTERIOR OF WINDOWS AND CASING WITH PREMIUM PAINT/COATING SYSTEM.

- PAINTING:
- 12 BASE BID TO INCLUDE LEAD PAINT ENCAPSULATION ON ALL ELEVATIONS. ENCAPSULATION SHALL INCLUDE SCRAPING LOOSE PAINT AND PREPARING SUBSTRATE AS NECESSARY. ALL LOOSE PAINT REMOVED FROM BUILDING SHALL COMPLY WITH PROPER PROCEDURES AND PROPERLY DISPOSED OF, FOLLOWING THEN PRIMING AND PAINTING THE BUILDING AS NOTED.
- 13 MISCELLANEOUS METAL ACCESSORIES SUCH AS EXPOSED CONDUIT, UNLESS NOTED OTHERWISE, ARE TO BE CLEANED, PRIMED AND PAINTED. ALL RUST TO BE MECHANICALLY OR HAND ABRADED AND REPAIR RUSTED AREAS WITH FILLER WHERE NECESSARY. THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT (2) COATS OF PREMIUM INDUSTRIAL ACRYLIC PAINT ON ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES UNLESS NOTED OTHERWISE.
- 14 APPLY PRIMER/BOND COAT AND 2 COATS ACRYLIC PAINT COATING SYSTEM TO CLEANED AND PREPARED, PREVIOUSLY PAINTED SIDING, NEW MASONRY SURFACES, HORIZONTAL BANDS, REVEALS, COLUMNS, GABLE END WALLS OVER EXTERIOR OF BUILDING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS UNLESS NOTED OTHERWISE. APPLY PRIMER/BOND COAT AND 2 COATS PREMIUM EXTERIOR ACRYLIC COATING TO MATCH EXISTING. PRIME SURFACES AS REQUIRED BY COATING MANUFACTURER AND PROVIDE WRITTEN APPROVAL OF SUBSTRATE (AND PREPARATION) FROM COATING MANUFACTURER. FINAL COLOR SHALL BE SELECTED/APPROVED BY ARCHITECT AND OWNER FROM PAINTED SAMPLE PANEL AREA. COLORS TO BE SIMILAR TO, OR MATCH EXISTING.
- 15 PREVIOUSLY PAINTED WINDOW FRAMES TO BE CLEANED PERIMETER SEALANT BONDFACE. CLEAN, PRIME, AND PAINT WINDOW FRAMES FOLLOWING SEALANT WORK AS SPECIFIED.

WORK NOTES CONTINUED

- INTERIOR:
- 16 ON INTERIOR, INSTALL NEW TRIM IN MATCHING PROFILES WHERE EXISTING TRIM IS MISSING/DAMAGED. RENAIL EXISTING BEADBOARD CEILINGS, WALLS, AND VARIOUS TRIM THAT ARE NOT BE FASTENED SECURELY. WHERE FACE NAILING IS NECESSARY, SINK NAILHEADS BELOW SURFACE OF WOOD. CLEAN, CAULK, PRIME AND PAINT WOOD CEILINGS, WALLS, TRIM, FRAMES, MOLDINGS, ETC. COLORS TO BE CHOSEN BY ARCHITECT AND OWNER.
- WOOD FLOORING:
- 17 CAREFULLY REMOVE EXISTING OAK WOOD FLOORING. CONTRACTOR SHALL INSTALL NEW P.T. 2x BLOCKING/SISTERS ON EITHER SIDE OF EXISTING POLE FRAMING. FASTEN TO POLE FRAMING USING 4" WOOD SCREWS IN A STAGGERED PATTERN AT 8" O.C. 3/4" TONGUE AND GROOVE WITH PLYWOOD SUBFLOOR. INSTALL NEW SOLID HEART PINEWOOD FLOORING SYSTEM. INSTALL NEW WOOD THRESHOLD AT DOORS (MAX. 1/2" HEIGHT DIFFERENTIAL) TO MATCH EXISTING DOOR HEIGHT. LIGHT SAND AND SEAL WITH SATIN URETHANE FINISH. NEW FLOORING IN STAGE AREA TO MATCH EXISTING HEIGHT INCREASE.INSTALL NEW TRIM IN MATCHING PROFILES WHERE EXISTING TRIM IS MISSING.
- ELECTRICAL:
- 18 INSTALL NEW ELECTRICAL PANEL SYSTEM. ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS. CONTRACTOR SHALL COORDINATE WITH CITY UTILITIES FOR POLE FEEDER LINE INSTALLATION. INSTALL NEW LIGHTING CIRCUITS FOR CEILING FIXTURES, SALVAGE/REPLACE AS NEEDED TO MATCH EXISTING MASON JAR PENDANTS. REFEED EXISTING POWER CONDUITS, CONDUCTORS AND LIGHTING AND INSTALL NEW INTERRUPTERS AND SWITCHES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PROPOSED LIGHTING FIXTURES FOR OWNER AND ARCHITECTS APPROVAL.

LEGEND

EXISTING DOOR TO REMAIN

EXISTING WINDOW TO REMAIN

ROOM

ROOM NAME

N.I.C.

A.F.F.

B.F.F.

TYP.

MIR.

NOT IN CONTRACT

ABOVE FINISH FLOOR

BELOW FINISH FLOOR

TYPICAL

MIRROR

ROOF SLOPE

ROOF RIDGE

ELEVATION MARKER

EXISTING WALL

NEW WALL. SEE WALL TYPES

ELEVATION/SECTION NUMBER SHEET NUMBER

WORK LEGEND NOTE

PHOTO MARKER PHOTO # / SHEET #

CANOPY ABOVE

WIDE 5V CRIMP METAL ROOF PANELS

CHANGE IN HEIGHT

HEART PINE WOOD FLOOR

CONCRETE LANDING

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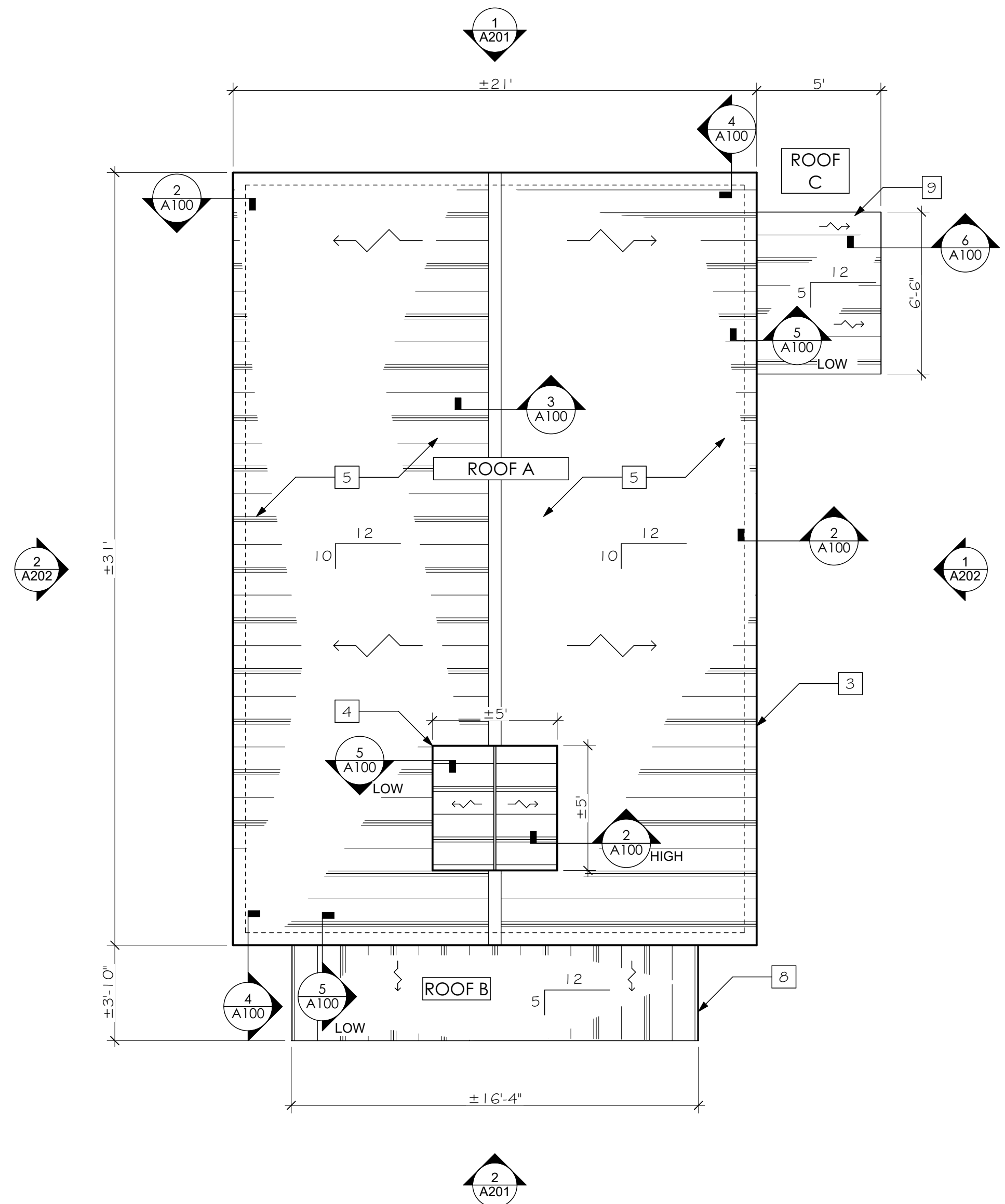
CALLAWAY HISTORIC SCHOOL HOUSE  
HURRICANE DAMAGE REPAIRS AND STABILIZATION  
SYNERGY NDS  
CALLAWAY, FLORIDA

100% SUBMITTAL

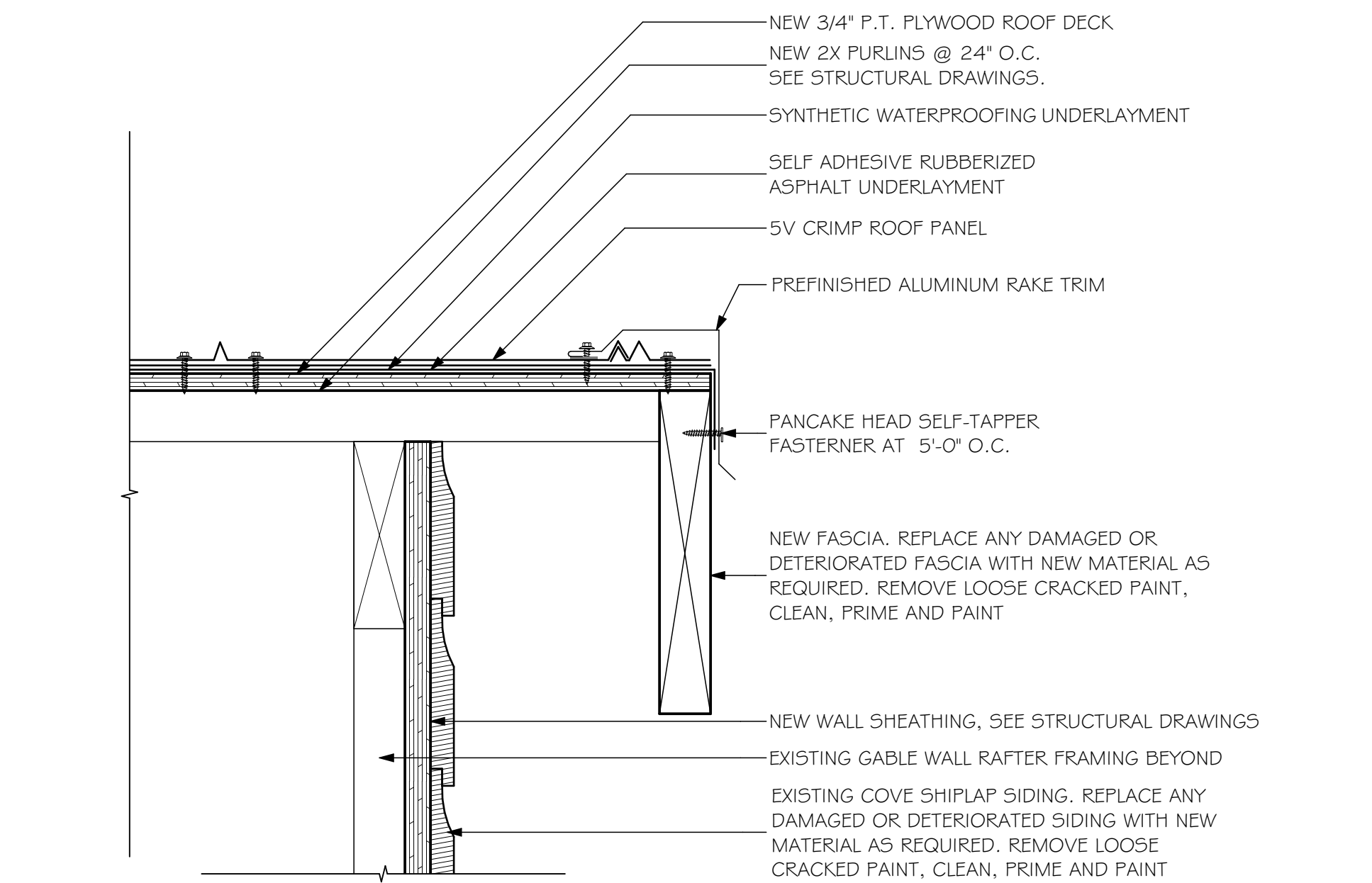
PROJ. NO.	142619
DATE	10/11/2019
DRAWN	JM
CHECKED	AW
APPROVED	JS
REVISION	
REVISION DATE	

ROOFING  
SCHEDULES &  
NOTES

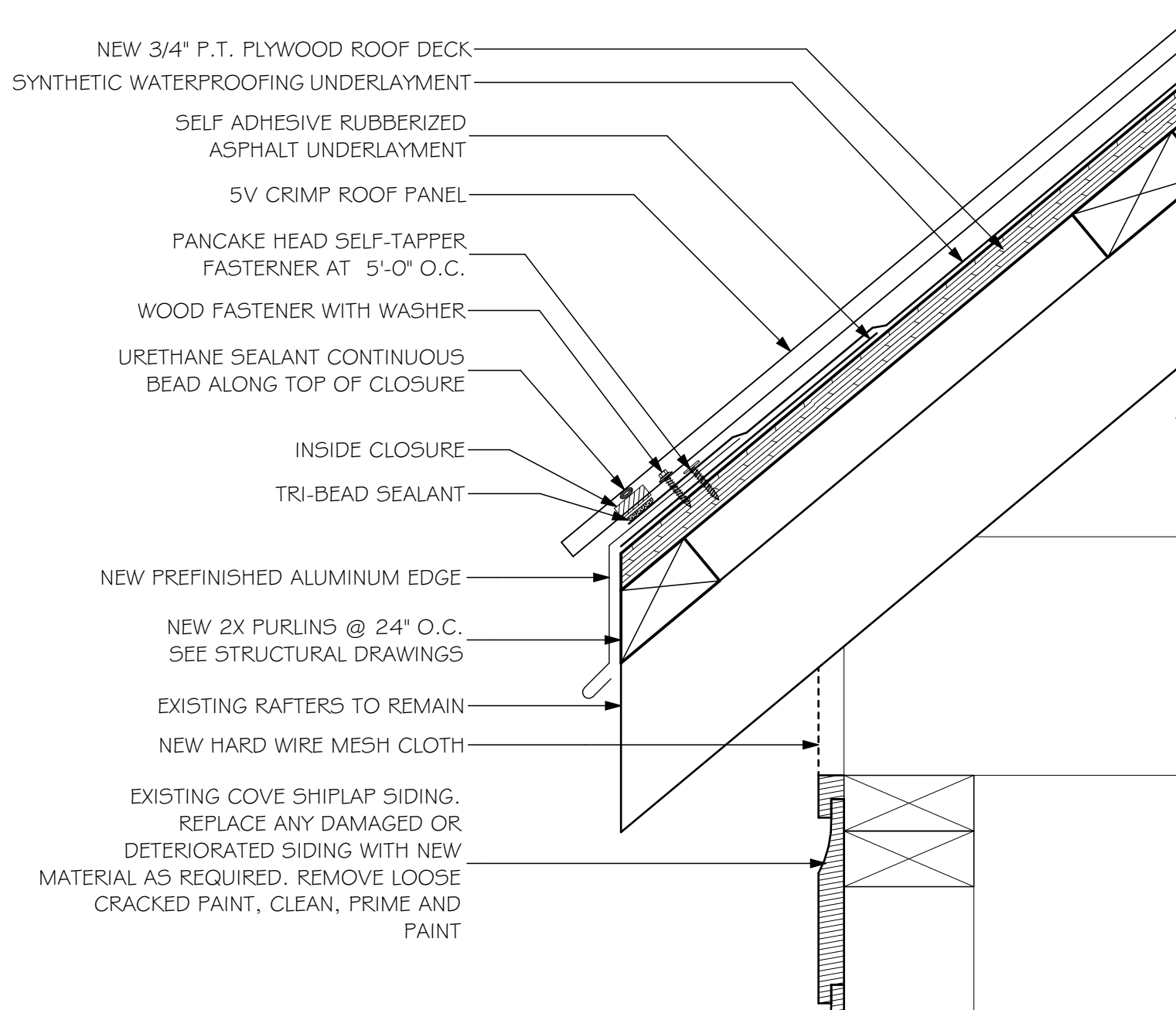
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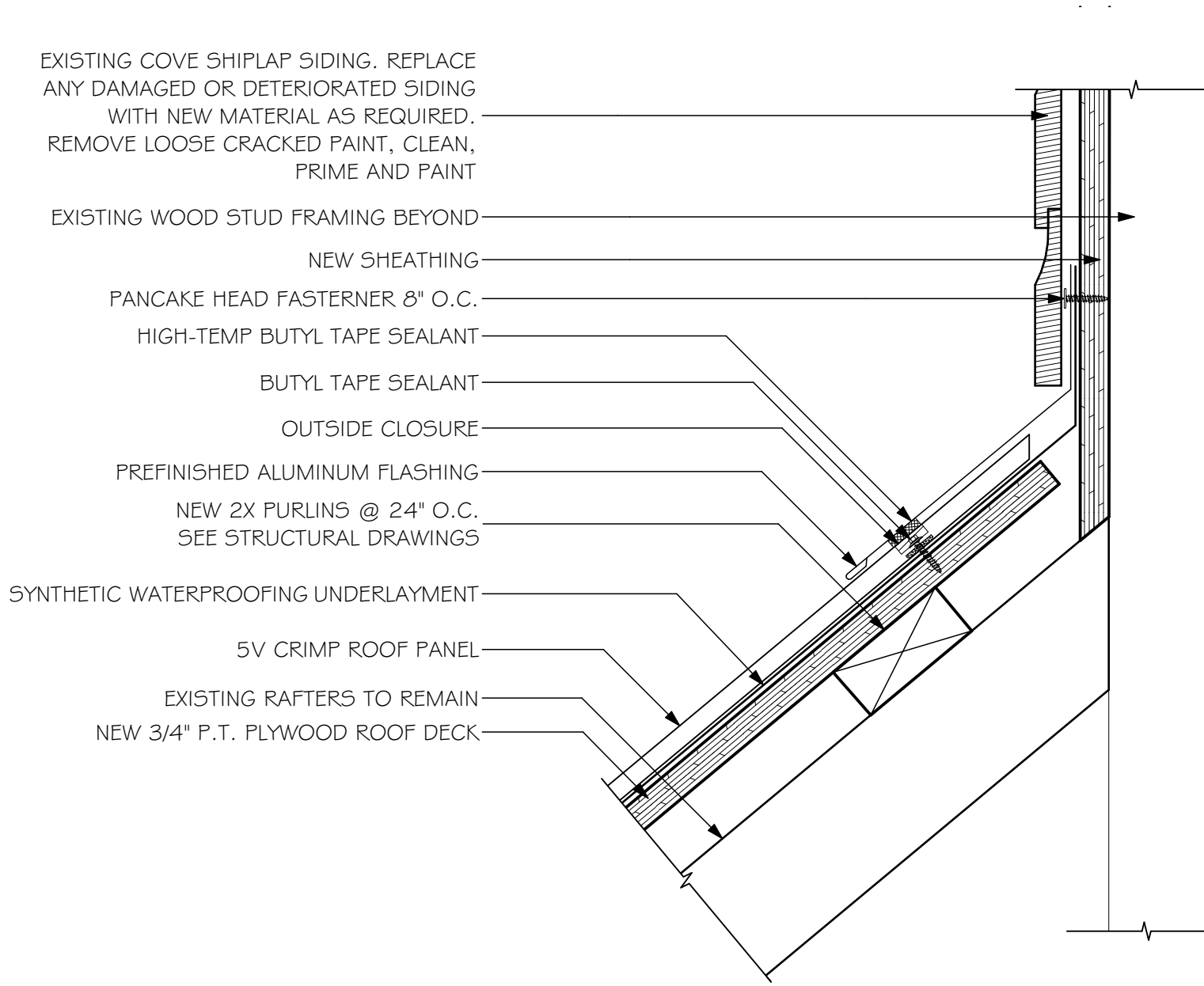
1  
A100  
ROOF PLAN  
SCALE: 1/4" = 1'-0"



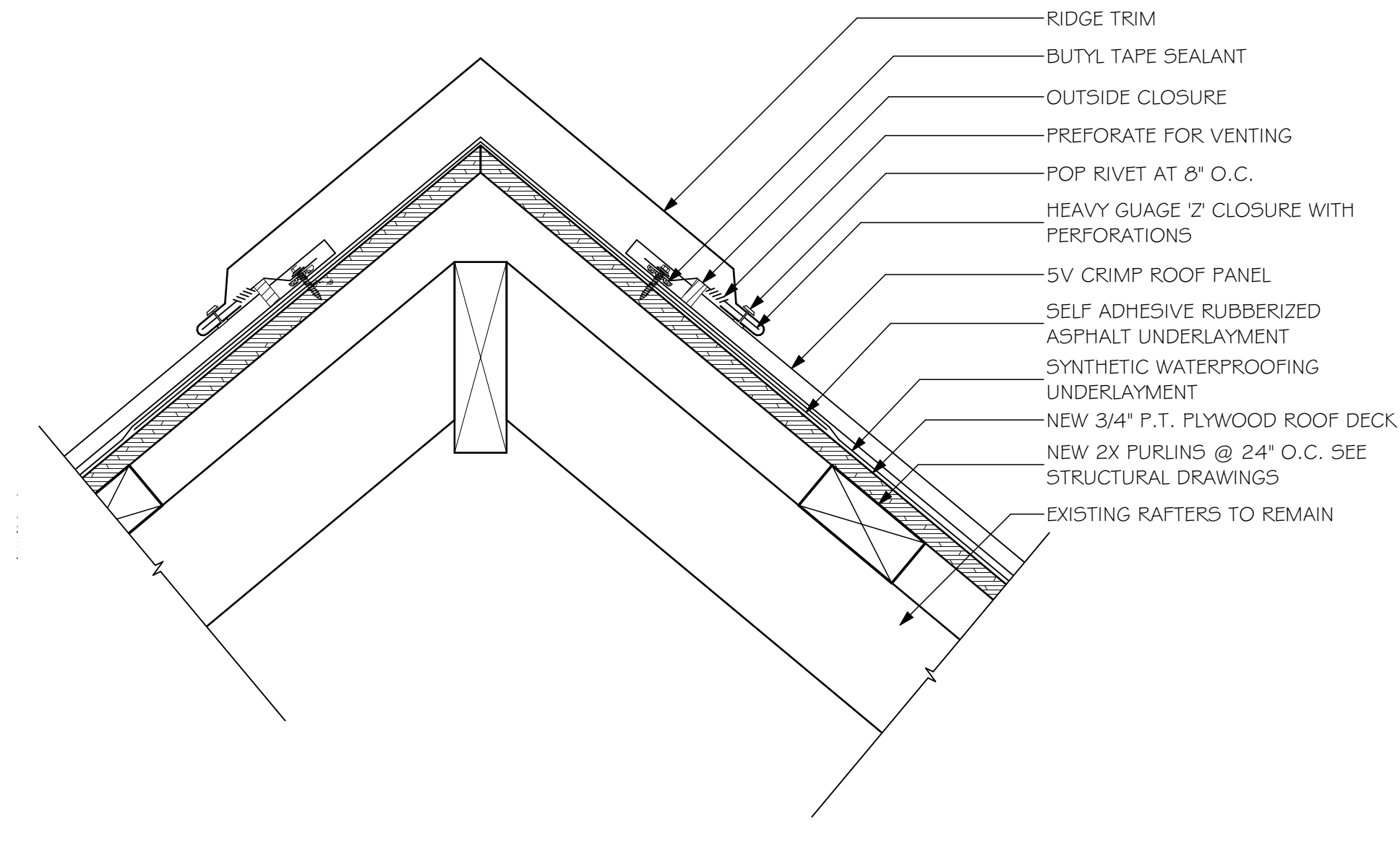
4  
A100  
RAKE EDGE DETAIL  
SCALE: 3" = 1'-0"



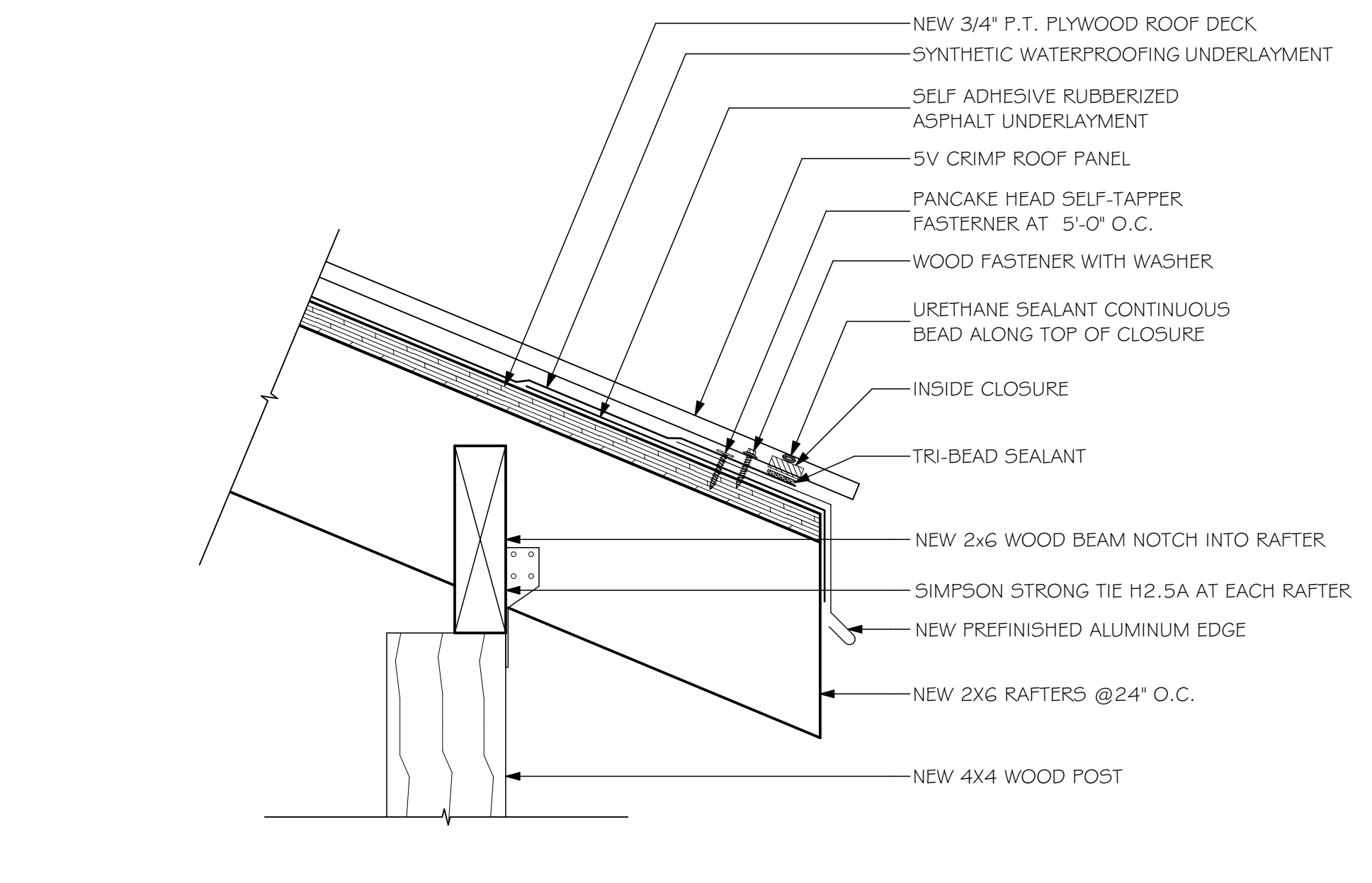
2  
A100  
EAVE EDGE DETAIL  
SCALE: 3" = 1'-0"



5  
A100  
WALL BASE DETAIL  
SCALE: 3" = 1'-0"



3  
A100  
VENTED RIDGE DETAIL  
SCALE: 3" = 1'-0"



6  
A100  
CANOPY EAVE DETAIL  
SCALE: 3" = 1'-0"

## LEGEND

	EXISTING DOOR TO REMAIN		EXISTING WALL
	EXISTING WINDOW TO REMAIN		NEW WALL. SEE WALL TYPES
ROOM	ROOM NAME		ELEVATION/SECTION NUMBER SHEET NUMBER
N.I.C.	NOT IN CONTRACT		WORK LEGEND NOTE
A.F.F.	ABOVE FINISH FLOOR		PHOTO MARKER PHOTO # / SHEET #
B.F.F.	BELOW FINISH FLOOR		CANOPY ABOVE
TYP.	TYPICAL		WIDE 5V CRIMP METAL ROOF PANELS
MIR.	MIRROR		CHANGE IN HEIGHT
	ROOF SLOPE		HARD WOOD FLOOR
	ROOF RIDGE		CONCRETE LANDING
	ELEVATION MARKER		

## WORK NOTES

### ROOF:

- CAREFULLY REPAIR EXISTING ROOF PER THE STRUCTURAL DRAWINGS. SISTER REMAINING HISTORIC JOISTS.
- RECONSTRUCT SALVAGED HISTORIC BELL TOWER TO MATCH EXISTING INSTALLATION WITH NEW PREFINISHED ALUMINUM CHANNEL AND BASEFLASHING.
- INSTALL NEW PLYWOOD SHEATHING. INSTALL SYNTHETIC WATERPROOFING UNDERLAYMENT OVER ROOF DECKING AND SELF ADHERED RUBBERIZED ASPHALT UNDERLAYMENT ALONG THE RIDGE AND PERIMETER OF ROOF EDGE. INSTALL 24" WIDE 5V CRIMP METAL ROOF PANELS WITH GROMMETED/SELF SEALING STAINLESS STEEL SCREWS PER MANUFACTURER'S FASTENING RECOMMENDATIONS TO MEET FBC WIND UPLIFT REQUIREMENTS INTO ROOF DECKING. INSTALL PREFINISHED METAL VENTED RIDGE CAP, RAKE FLASHING, AND EDGE METAL TRIM AS DETAILED.

### PORCH:

- REINSTALL EXISTING ENTRY CANOPY. SUPPLEMENT MISSING/DAMAGED ELEMENTS TO MATCH ORIGINAL CONSTRUCTION.
- REBUILD NEW SIDE PORCH AND CANOPY. INSTALL NEW PRESSURE TREATED WOOD POST, BALUSTRADE, HANDRAILS, AND WOOD TREADS/RISERS AS DETAILED AND INDICATED IN THE DRAWINGS TO MATCH ENTRYWAY PORCH PROFILES.

\*SEE SHEET A00 FOR ALL WORK NOTES

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Patricia M. McKee, P.E.  
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CALLAWAY HISTORIC SCHOOL HOUSE  
HURRICANE DAMAGE REPAIRS AND STABILIZATION  
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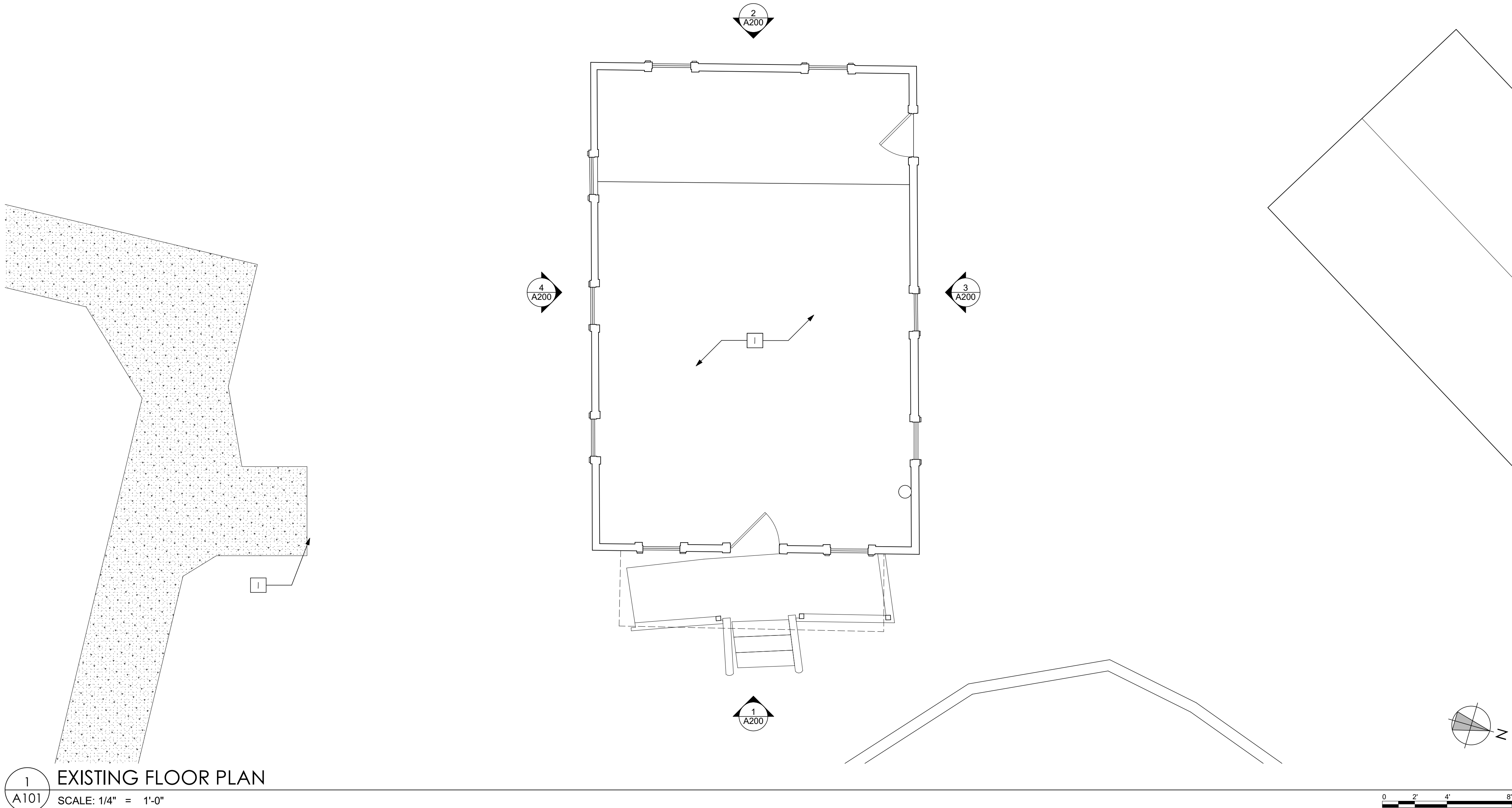
## 100% SUBMITTAL

PROJ. NO.	142619
DATE	10/11/2019
DRAWN	JM
CHECKED	AW
APPROVED	J5
REVISION	
REVISION DATE	

## ROOF PLAN

A100

/



LEGEND

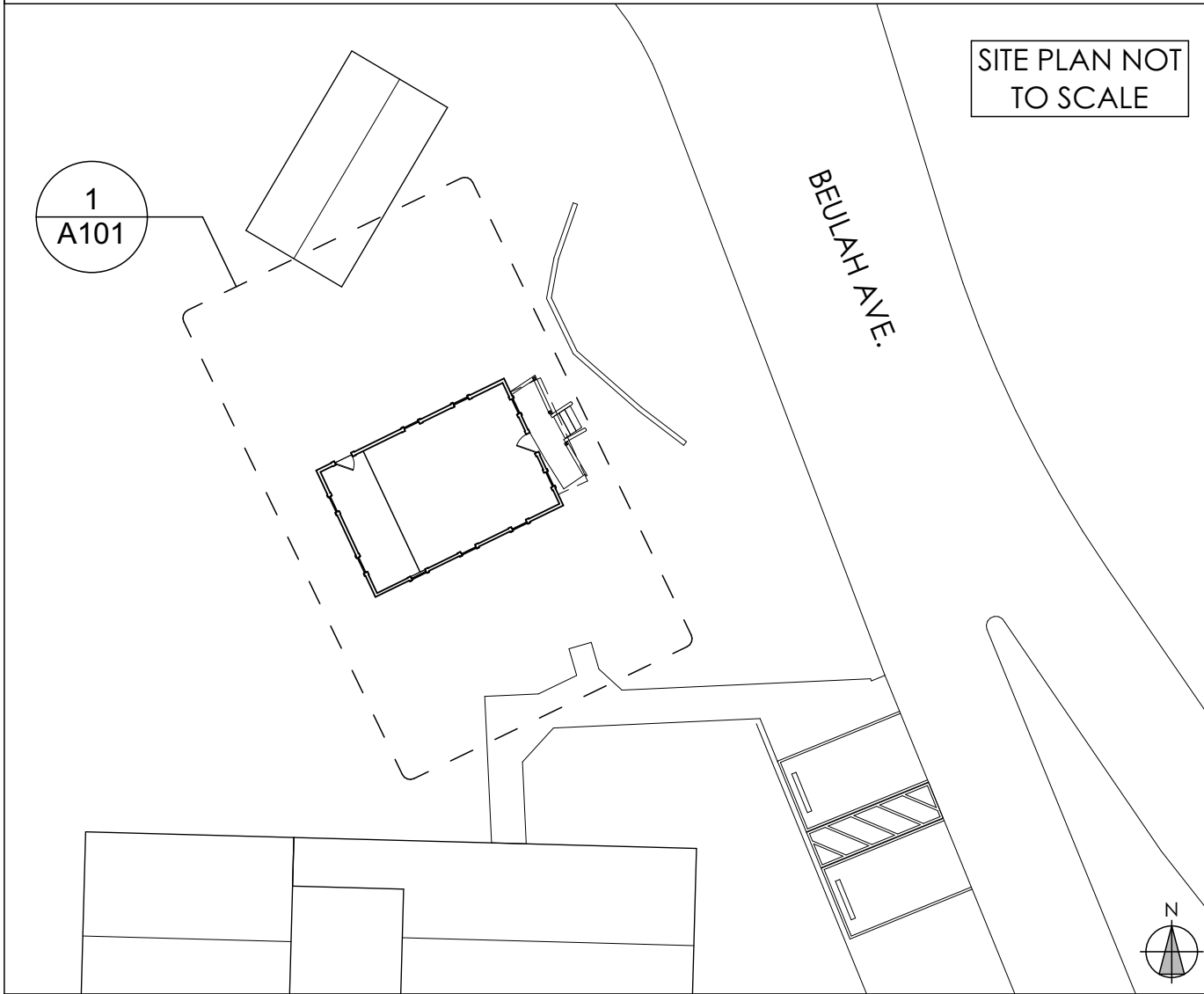
	EXISTING DOOR TO REMAIN		EXISTING WALL
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ROOM	ROOM NAME		ELEVATION/SECTION NUMBER SHEET NUMBER
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	ELEVATION MARKER		

WORK NOTES

FOUNDATION:

1 PLACE SCHOOLHOUSE ON TEMPORARY CRIBBING AND PREPARE NEW FOUNDATIONS. INSTALL NEW CONCRETE BLOCK FOUNDATIONS WITH HELICAL TIEDOWNS. CAREFULLY MOVE SCHOOLHOUSE FROM TEMPORARY CRIBBING, RELOCATE AND SET ON NEW PERMANENT FOUNDATIONS PER THE STRUCTURAL DRAWINGS. CONTRACTOR TO ALIGN THE HOUSE SO THE NEW RAMP ALIGNS WITH THE EXISTING CONCRETE SIDEWALK AS NOTED IN RENOVATION PLAN, SHEET A102. THE CONTRACTOR WILL ANY REPAIR DAMAGES ASSOCIATED WITH RELOCATION TO THE EXISTING BUILDING RESULTING FROM ANY PREPARATION, MOVING AND RELOCATION PROCEDURES. CONTRACTOR WILL REPAIR ALL DAMAGED ITEMS PRIOR TO COMPLETION OF THIS PROJECT.

SITE PLAN



CONSULTANTS



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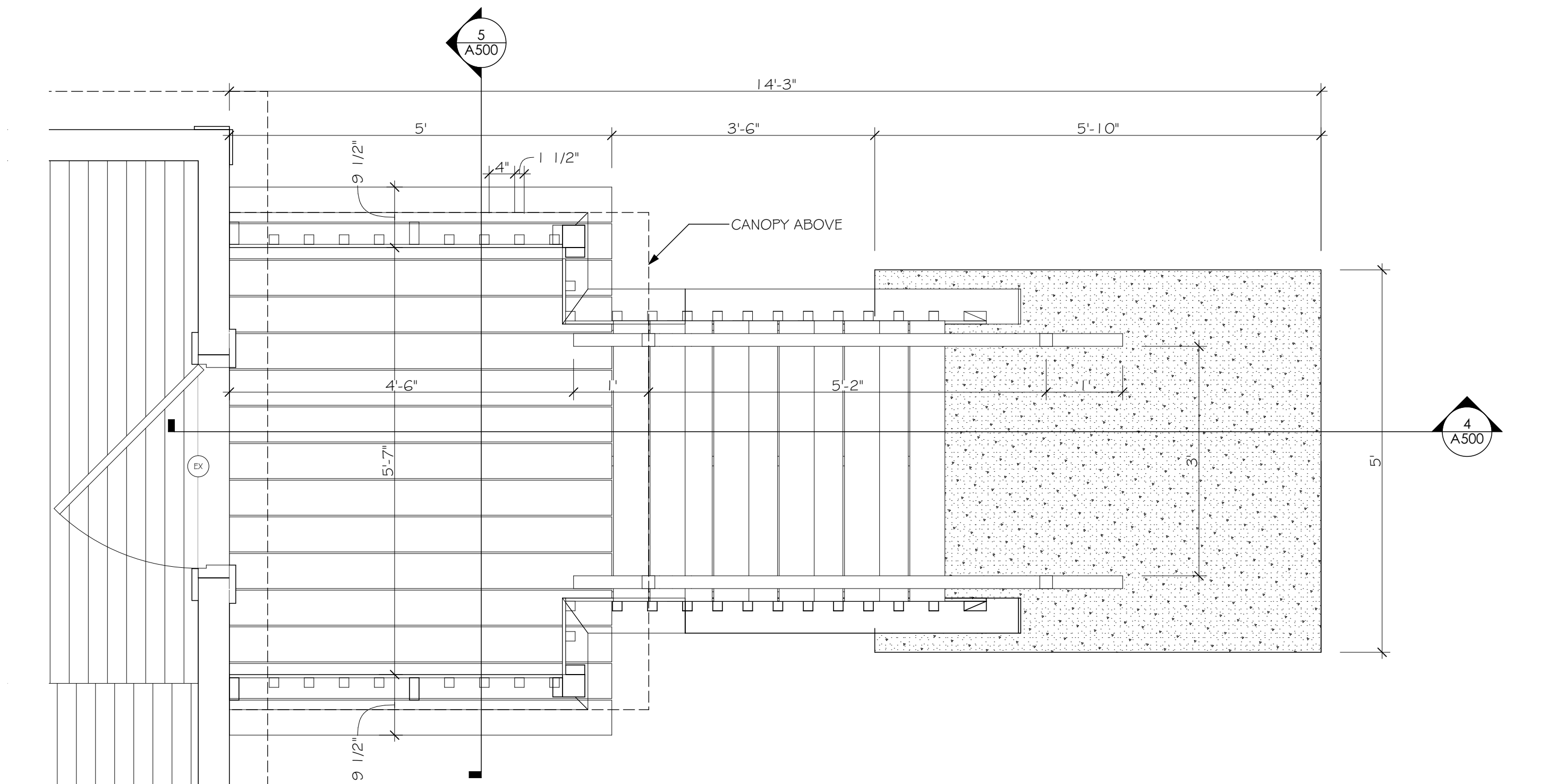
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SYNERGY NDS  
CALLAWAY, FLORIDA

100% SUBMITTAL

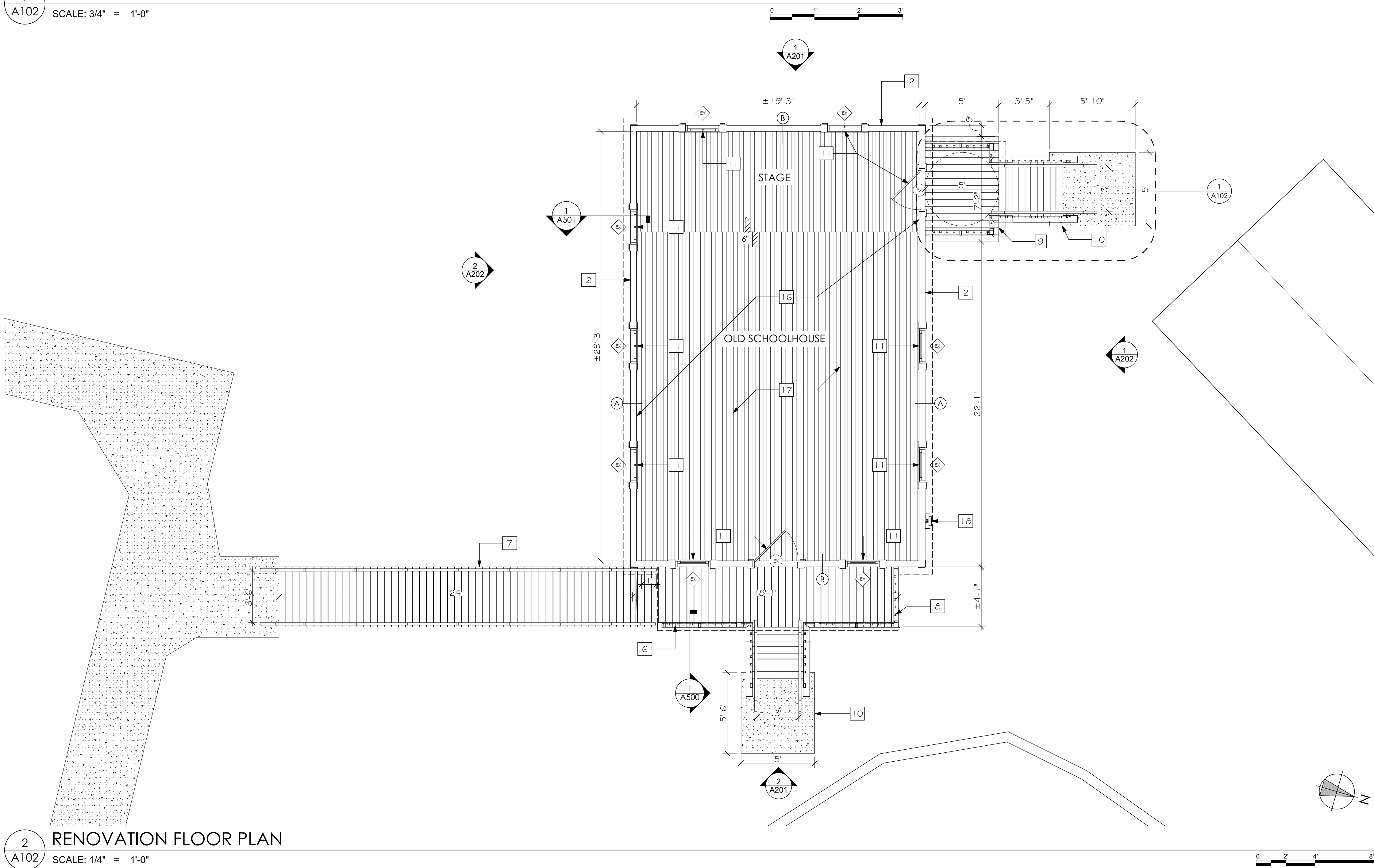
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DATE 10/11/2019  
DRAWN JM  
CHECKED AW  
APPROVED JS  
REVISION  
REVISION DATE

EXISTING PLAN

A101



1  
A102  
ENLARGED PORCH FLOOR PLAN  
SCALE: 3/4" = 1'-0"



2  
A102  
RENOVATION FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**LEGEND**

	EXISTING DOOR TO REMAIN		EXISTING WALL
	EXISTING WINDOW TO REMAIN		NEW WALL. SEE WALL TYPES
<b>ROOM</b>	<b>ROOM NAME</b>		ELEVATION/SECTION NUMBER SHEET NUMBER
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	ELEVATION MARKER		

**WORK NOTES**

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- 9 REBUILD NEW SIDE PORCH AND CANOPY. INSTALL NEW PRESSURE TREATED WOOD POST, BALUSTRADE, HANDRAILS, AND WOOD TREADS/RISERS AS DETAILED AND INDICATED IN THE DRAWINGS TO MATCH ENTRYWAY PORCH PROFILES.
- 10 PROVIDE A LEVEL CONCRETE LANDING AT BOTTOM OF RAMP AND STAIRS, AS DETAILED.
- WINDOW AND DOOR RESTORATION:**
- 11 NOTE: PAINT SAMPLING TESTED POSITIVE FOR LEAD AND GLAZING COMPOUND TESTED POSITIVE FOR ASBESTOS CONTAINING MATERIAL.
- A. CUT OUT, SCRAPE AND REMOVE ALL EXISTING PERIMETER GLAZING COMPOUND BETWEEN GLASS AND WOOD MUTTONS AND SASH OF ALL EXTERIOR WINDOWS AND TRANSOMS UNLESS NOTED OTHERWISE. COMPLY WITH ABATEMENT PROCEDURES FOR ASBESTOS CONTAINING GLAZING COMPOUND.
- B. REPLACE ALL SEVERELY DETERIORATED WINDOW AND DOOR COMPONENTS WITH NEW COMPONENTS TO MATCH EXISTING. AT SMALL AREAS OF WOOD ROT, CONTRACTOR TO REMOVE ALL LOOSE AND UNSALVAGEABLE WOOD TO SOUND SUBSTRATE. ALL SOFT BUT SALVAGEABLE WOOD SHALL BE SATURATED WITH MINWAX WOOD HARDENER AND RESTORED WITH MINWAX EPOXY WOOD FILLER TO MATCH EXISTING WOOD PROFILES.
- C. CLEAN RABBET GROOVE OF WOOD WINDOW MUNTINS AND SASH OF ALL OLD GLAZING COMPOUND AND PAINT TO BARE WOOD. SAND, SEAL WITH LINSEED OIL AND PRIME WITH OIL BASED PRIMER. REPLACE ALL BROKEN GLASS WITH NEW HISTORIC GLASS TO MATCH EXISTING, SECURE NEW AND EXISTING GLASS WITH PUSH POINTS.
- D. MILDEW PREVENTIVE (M-1) TO BE ADDED TO LINSEED OIL, GLAZING COMPOUND, PRIMERS AND PAINT.
- E. REGLAZE ALL WOOD EXTERIOR WINDOWS, CONTRACTOR TO CLEAN AND PREPARE, PRIME AND GLAZE WOOD WINDOW FOR APPROVAL TO BE BASIS FOR QUALITY CONTROL.
- F. PRIME (OIL BASED PRIMER) AND PAINT 2 COATS OVER GLAZING COMPOUND AT ALL EXTERIOR WINDOWS. CLEAN, PRIME, AND PAINT EXTERIOR AND INTERIOR OF WINDOWS AND CASING WITH PREMIUM PAINT/COATING SYSTEM.
- PAINTING:**
- 12 BASE BID TO INCLUDE LEAD PAINT ENCAPSULATION ON ALL ELEVATIONS. ENCAPSULATION SHALL INCLUDE SCRAPING LOOSE PAINT AND PREPARING SUBSTRATE AS NECESSARY. ALL LOOSE PAINT REMOVED FROM BUILDING SHALL COMPLY WITH PROPER PROCEDURES AND PROPERLY DISPOSED OF, FOLLOWING THEN PRIMING AND PAINTING THE BUILDING AS NOTED.
- 13 MISCELLANEOUS METAL ACCESSORIES SUCH AS EXPOSED CONDUIT, UNLESS NOTED OTHERWISE, ARE TO BE CLEANED, PRIMED AND PAINTED. ALL RUST TO BE MECHANICALLY OR HAND ABRADED AND REPAIR RUSTED AREAS WITH FILLER WHERE NECESSARY, THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT (2) COATS OF PREMIUM INDUSTRIAL ACRYLIC PAINT ON ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES UNLESS NOTED OTHERWISE.
- 14 APPLY PRIMER/BOND COAT AND 2 COATS ACRYLIC PAINT COATING SYSTEM TO CLEANED AND PREPARED, PREVIOUSLY PAINTED SIDING, NEW MASONRY SURFACES, HORIZONTAL BANDS, REVEALS, COLUMNS, GABLE END WALLS OVER EXTERIOR OF BUILDING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS UNLESS NOTED OTHERWISE. APPLY PRIMER/BOND COAT AND 2 COATS PREMIUM EXTERIOR ACRYLIC COATING TO MATCH EXISTING. PRIME SURFACES AS REQUIRED BY COATING MANUFACTURER AND PROVIDE WRITTEN APPROVAL OF SUBSTRATE (AND PREPARATION) FROM COATING MANUFACTURER. FINAL COLOR SHALL BE SELECTED/APPROVED BY ARCHITECT AND OWNER FROM PAINTED SAMPLE PANEL AREA. COLORS TO BE SIMILAR TO, OR MATCH EXISTING.
- 15 PREVIOUSLY PAINTED WINDOW FRAMES TO BE CLEANED PERIMETER SEALANT BONDFACE. CLEAN, PRIME, AND PAINT WINDOW FRAMES FOLLOWING SEALANT WORK AS SPECIFIED.
- INTERIOR:**
- 16 ON INTERIOR, INSTALL NEW TRIM IN MATCHING PROFILES WHERE EXISTING TRIM IS MISSING/DAMAGED. RENAIL EXISTING BEADBOARD CEILINGS, WALLS, AND VARIOUS TRIM THAT ARE NOT BE FASTENED SECURELY. WHERE FACE NAILING IS NECESSARY, SINK NAILHEADS BELOW SURFACE OF WOOD. CLEAN, CAULK, PRIME AND PAINT WOOD CEILINGS, WALLS, TRIM, FRAMES, MOLDINGS, ETC. COLORS TO BE CHOSEN BY ARCHITECT AND OWNER.
- WOOD FLOORING:**
- 17 CAREFULLY REMOVE EXISTING OAK WOOD FLOORING. CONTRACTOR SHALL INSTALL NEW P.T. 2x BLOCKING/SISTERS ON EITHER SIDE OF EXISTING POLE FRAMING. FASTEN TO POLE FRAMING USING 4" WOOD SCREWS IN A STAGGERED PATTERN AT 8" O.C. 3/4" TONGUE AND GROOVE WITH PLYWOOD SUBFLOOR. INSTALL NEW SOLID HEART PINWOOD FLOORING SYSTEM. INSTALL NEW WOOD THRESHOLD AT DOORS (MAX. 1/2" HEIGHT DIFFERENTIAL) TO MATCH EXISTING DOOR HEIGHT. LIGHT SAND AND SEAL WITH SATIN URETHANE FINISH. NEW FLOORING IN STAGE AREA TO MATCH EXISTING HEIGHT INCREASE. INSTALL NEW TRIM IN MATCHING PROFILES WHERE EXISTING TRIM IS MISSING.
- ELECTRICAL:**
- 18 INSTALL NEW ELECTRICAL PANEL SYSTEM. ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS. CONTRACTOR SHALL COORDINATE WITH CITY UTILITIES FOR POLE FEEDER LINE INSTALLATION. INSTALL NEW LIGHTING CIRCUITS FOR CEILING FIXTURES, SALVAGE/REPLACE AS NEEDED TO MATCH EXISTING MASON JAR PENDANTS. REFEED EXISTING POWER CONDUITS, CONDUCTORS AND LIGHTING AND INSTALL NEW INTERRUPTERS AND SWITCHES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PROPOSED LIGHTING FIXTURES FOR OWNER AND ARCHITECTS APPROVAL.
- \*SEE SHEET A00 FOR ALL WORK NOTES

**CONSULTANTS**



CALLAWAY HISTORIC SCHOOL HOUSE  
HURRICANE DAMAGE REPAIRS AND STABILIZATION  
SYNERGY NDS  
CALLAWAY, FLORIDA

**100% SUBMITTAL**

PROJ. NO.	142619
DATE	10/11/2019
DRAWN	JM
CHECKED	AW
APPROVED	JS
REVISION	
REVISION DATE	

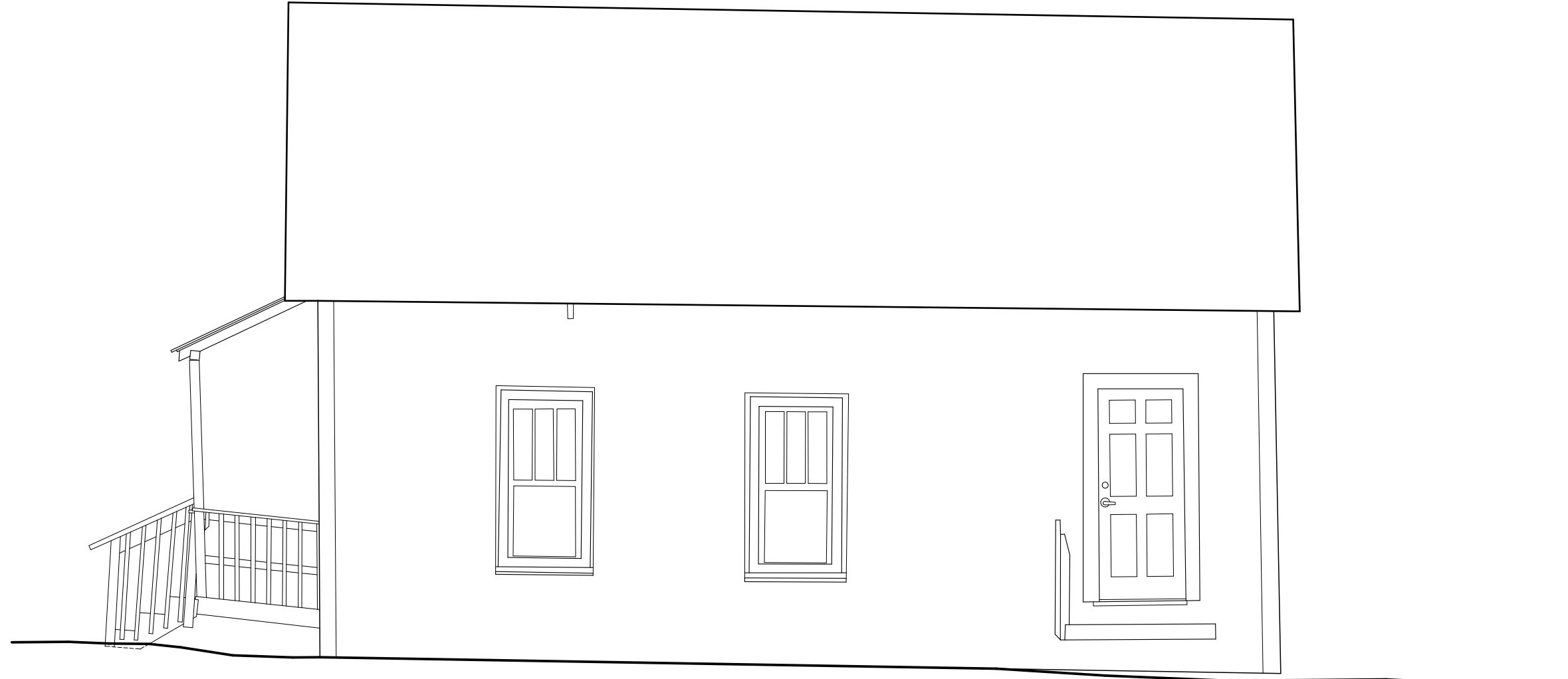
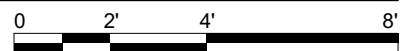
**RENOVATION PLAN**

A102



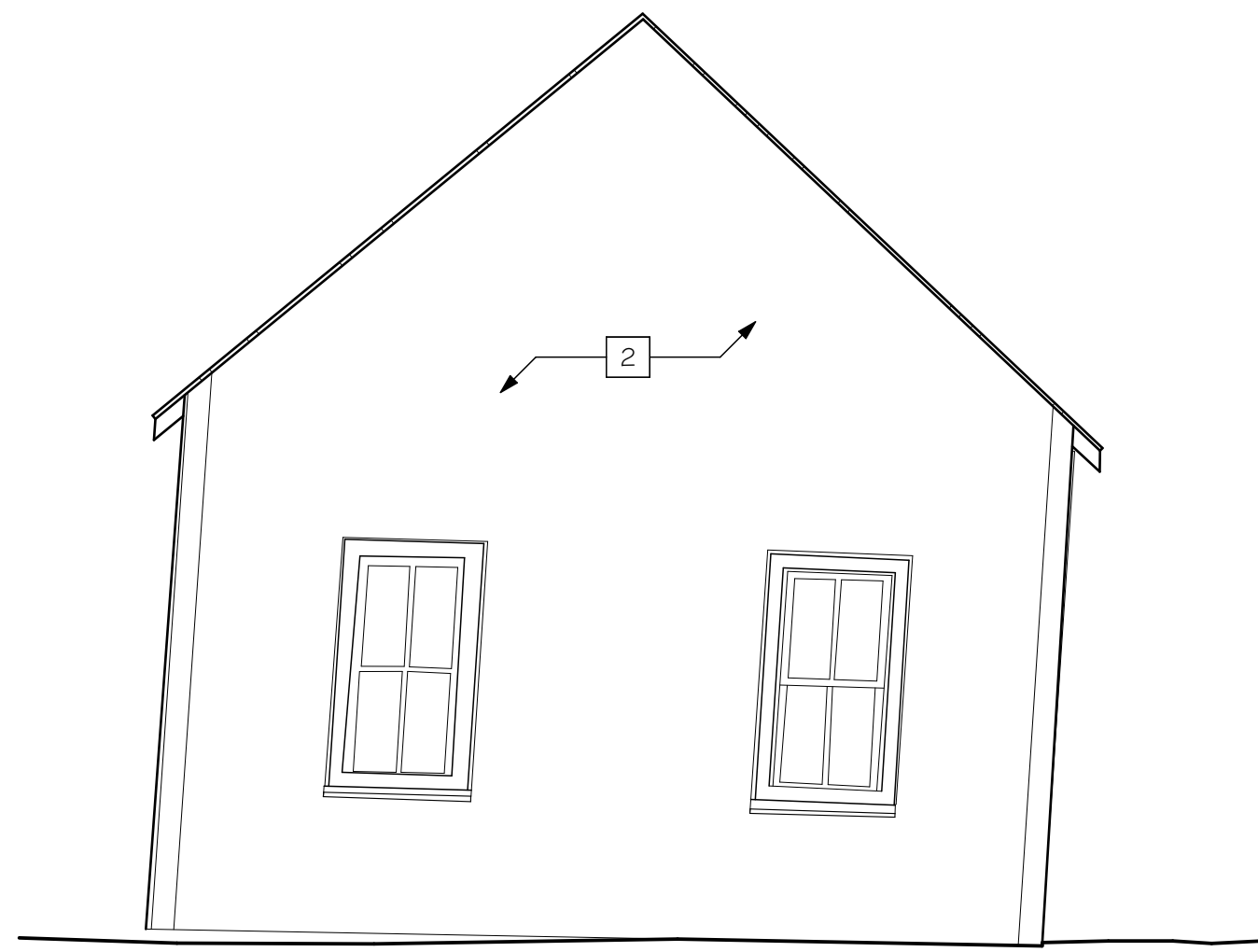
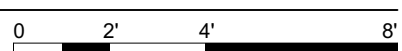
1  
A200  
EXISTING EAST ELEVATION

SCALE: 1/4" = 1'-0"



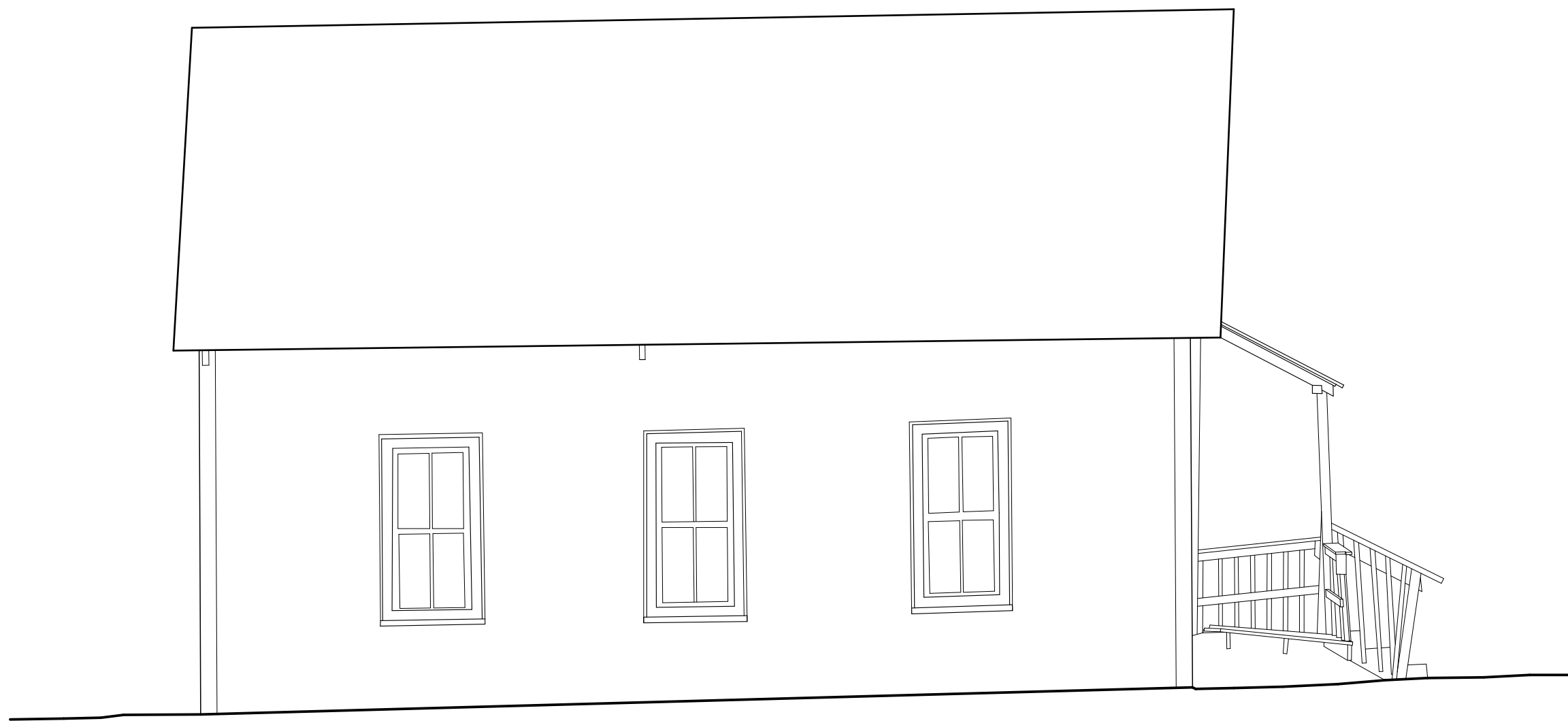
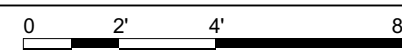
3  
A200  
EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



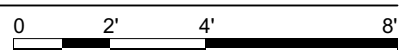
2  
A200  
EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



4  
A200  
EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



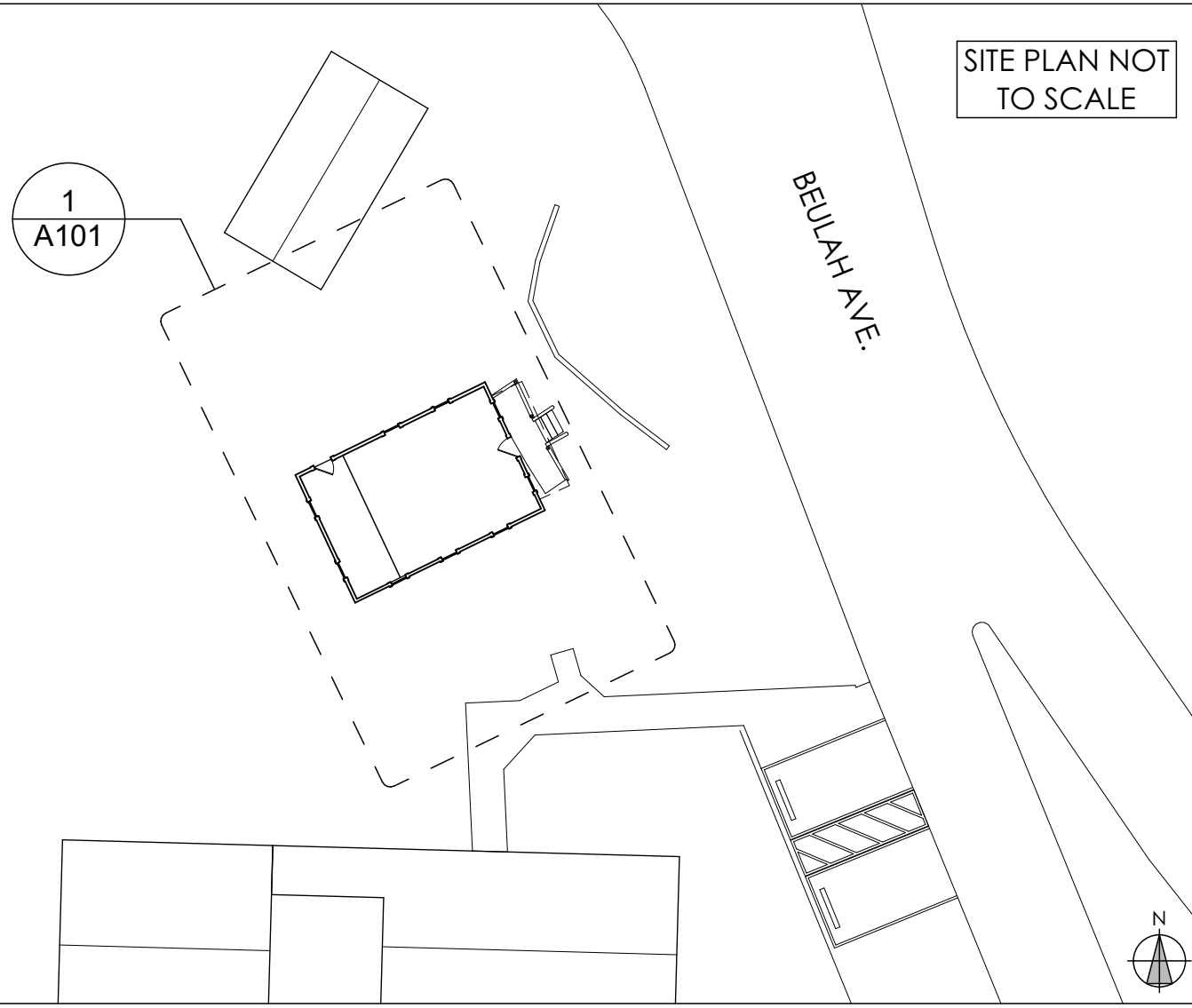
## LEGEND

	EXISTING DOOR TO REMAIN		EXISTING WALL
	EXISTING WINDOW TO REMAIN		NEW WALL. SEE WALL TYPES
ROOM	ROOM NAME		ELEVATION/SECTION NUMBER SHEET NUMBER
N.I.C.	NOT IN CONTRACT		WORK LEGEND NOTE
A.F.F.	ABOVE FINISH FLOOR		PHOTO MARKER PHOTO # / SHEET #
B.F.F.	BELOW FINISH FLOOR		CANOPY ABOVE
TYP.	TYPICAL		WIDE 5V CRIMP METAL ROOF PANELS
MIR.	MIRROR		CHANGE IN HEIGHT
	ROOF SLOPE		HEART PINE WOOD FLOOR
	ROOF RIDGE		CONCRETE LANDING
	ELEVATION MARKER		

## WORK NOTES

- SIDING REPAIR:
- 2 REMOVE AND SALVAGE EXISTING COVE SHIPLAP SIDING ON EAST AND WEST FAÇADE TO NEAREST FRAMING MEMBER AND INSTALL NEW SHEATHING TO HOLD PLUMB, VAPOR BARRIER AND SALVAGED WOOD SIDING STAGGERED. CONTRACTOR TO SUPPLEMENT SIDING TO MATCH EXISTING SPECIES AND PROFILES. BACK PRIME NEW SIDING WITH PREMIUM OIL BASED PRIMER, PRIOR TO INSTALLATION, SEAL ALL END GRAIN OF REPLACEMENT WOOD SIDING.
- BASE BID TO INCLUDE 200 BOARD FOOT OF DETERIORATION WOOD REPLACEMENT OF EXISTING SIDING. ADD/DEDUCT OF \$\_\_\_\_/BOARD FOOT FOR ADDITIONAL WOOD DETERIORATION REPLACEMENT.
- \*SEE SHEET A00 FOR ALL WORK NOTES

## SITE PLAN



## CONSULTANTS



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Tallahassee, Florida 32308  
Office: 850.727.5367  
Authorization No. 31293  
Patrick M. McKee, P.E.  
Florida PE No. 63122



ARCHITECTURE  
INTERIOR DESIGN  
BUILDING ENVELOPE  
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CALLAWAY HISTORIC SCHOOL HOUSE  
HURRICANE DAMAGE REPAIRS AND STABILIZATION  
SYNERGY NDS  
CALLAWAY, FLORIDA

## 100% SUBMITTAL

PROJ. NO. 142619  
DATE 10/11/2019  
DRAWN JM  
CHECKED AW  
APPROVED JS  
REVISION  
REVISION DATE

EXTERIOR  
ELEVATIONS

A200

WORK NOTES

- SIDING REPAIR:
- 2

REMOVE AND SALVAGE EXISTING COVE SHIPLAP SIDING ON EAST AND WEST FAÇADE TO NEAREST FRAMING MEMBER AND INSTALL NEW SHEATHING TO HOLD PLUMB, VAPOR BARRIER AND SALVAGED WOOD SIDING STAGGERED. CONTRACTOR TO SUPPLEMENT SIDING TO MATCH EXISTING SPECIES AND PROFILES. BACK PRIME NEW SIDING WITH PREMIUM OIL BASED PRIMER, PRIOR TO INSTALLATION, SEAL ALL END GRAIN OF REPLACEMENT WOOD SIDING.
- 6

REMOVE AND SALVAGE EXISTING STAIRS AND PORCH AT MAIN ENTRYWAY. CONTRACTOR TO SUPPLEMENT MISSING POSTS, BALUSTRADES, AND DECKING TO MATCH EXISTING SPECIES AND PROFILES.
- 7

INSTALL NEW PRESSURE TREATED WOOD RAMP, HANDRAILS, AS DETAILED AND INDICATED IN THE DRAWINGS TO MATCH ADJACENT PORCH PROFILES.
- 8

REINSTALL EXISTING ENTRY CANOPY. SUPPLEMENT MISSING/DAMAGED ELEMENTS TO MATCH ORIGINAL CONSTRUCTION.
- 9

REBUILD NEW SIDE PORCH AND CANOPY. INSTALL NEW PRESSURE TREATED WOOD POST, BALUSTRADE, HANDRAILS, AND WOOD TREADS/RISERS AS DETAILED AND INDICATED IN THE DRAWINGS TO MATCH ENTRYWAY PORCH PROFILES.
- 10

PROVIDE 5' X 5' LEVEL CONCRETE LANDING AT BOTTOM OF RAMP AND STAIRS AS DETAILED.
- WINDOW AND DOOR RESTORATION:

11

NOTE: PAINT SAMPLING TESTED POSITIVE FOR LEAD AND GLAZING COMPOUND TESTED POSITIVE FOR ASBESTOS CONTAINING MATERIAL.

- A. CUT OUT, SCRAPE AND REMOVE ALL EXISTING PERIMETER GLAZING COMPOUND BETWEEN GLASS AND WOOD MUTTONS AND SASH OF ALL EXTERIOR WINDOWS AND TRANSOMS UNLESS NOTED OTHERWISE. COMPLY WITH ABATEMENT PROCEDURES FOR ASBESTOS CONTAINING GLAZING COMPOUND.
- B. REPLACE ALL SEVERELY DETERIORATED WINDOW AND DOOR COMPONENTS WITH NEW COMPONENTS TO MATCH EXISTING. AT SMALL AREAS OF WOOD ROT, CONTRACTOR TO REMOVE ALL LOOSE AND UNSALVAGEABLE WOOD TO SOUND SUBSTRATE. ALL SOFT BUT SALVAGEABLE WOOD SHALL BE SATURATED WITH MINWAX WOOD HARDENER AND RESTORED WITH MINWAX EPOXY WOOD FILLER TO MATCH EXISTING WOOD PROFILES.
- C. CLEAN RABBET GROOVE OF WOOD WINDOW MUNTINS AND SASH OF ALL OLD GLAZING COMPOUND AND PAINT TO BARE WOOD. SAND, SEAL WITH LINSEED OIL AND PRIME WITH OIL BASED PRIMER. REPLACE ALL BROKEN GLASS WITH NEW HISTORIC GLASS TO MATCH EXISTING, SECURE NEW AND EXISTING GLASS WITH PUSH POINTS.
- D. MILDEW PREVENTIVE (M-1) TO BE ADDED TO LINSEED OIL, GLAZING COMPOUND, PRIMERS AND PAINT.
- E. REGLAZE ALL WOOD EXTERIOR WINDOWS, CONTRACTOR TO CLEAN AND PREPARE, PRIME AND GLAZE WOOD WINDOW FOR APPROVAL TO BE BASIS FOR QUALITY CONTROL.
- F. PRIME (OIL BASED PRIMER) AND PAINT 2 COATS OVER GLAZING COMPOUND AT ALL EXTERIOR WINDOWS. CLEAN, PRIME, AND PAINT EXTERIOR AND INTERIOR OF WINDOWS AND CASING WITH PREMIUM PAINT/COATING SYSTEM.

- PAINTING:
- 12

BASE BID TO INCLUDE LEAD PAINT ENCAPSULATION ON ALL ELEVATIONS. ENCAPSULATION SHALL INCLUDE SCRAPING LOOSE PAINT AND PREPARING SUBSTRATE AS NECESSARY. ALL LOOSE PAINT REMOVED FROM BUILDING SHALL COMPLY WITH PROPER PROCEDURES AND PROPERLY DISPOSED OF, FOLLOWING THEN PRIMING AND PAINTING THE BUILDING AS NOTED.
- 13

MISCELLANEOUS METAL ACCESSORIES SUCH AS EXPOSED CONDUIT, UNLESS NOTED OTHERWISE, ARE TO BE CLEANED, PRIMED AND PAINTED. ALL RUST TO BE MECHANICALLY OR HAND ABRADED AND REPAIR RUSTED AREAS WITH FILLER WHERE NECESSARY, THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT (2) COATS OF PREMIUM INDUSTRIAL ACRYLIC PAINT ON ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES UNLESS NOTED OTHERWISE.
- 14

APPLY PRIMER/BOND COAT AND 2 COATS ACRYLIC PAINT COATING SYSTEM TO CLEANED AND PREPARED, PREVIOUSLY PAINTED SIDING, NEW MASONRY SURFACES, HORIZONTAL BANDS, REVEALS, COLUMNS, GABLE END WALLS OVER EXTERIOR OF BUILDING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS UNLESS NOTED OTHERWISE. APPLY PRIMER/BOND COAT AND 2 COATS PREMIUM EXTERIOR ACRYLIC COATING TO MATCH EXISTING. PRIME SURFACES AS REQUIRED BY COATING MANUFACTURER AND PROVIDE WRITTEN APPROVAL OF SUBSTRATE (AND PREPARATION) FROM COATING MANUFACTURER. FINAL COLOR SHALL BE SELECTED/APPROVED BY ARCHITECT AND OWNER FROM PAINTED SAMPLE PANEL AREA. COLORS TO BE SIMILAR TO, OR MATCH EXISTING.
- 15

PREVIOUSLY PAINTED WINDOW FRAMES TO BE CLEANED PERIMETER SEALANT BONDFACE. CLEAN, PRIME, AND PAINT WINDOW FRAMES FOLLOWING SEALANT WORK AS SPECIFIED.

- INTERIOR:
- 16

ON INTERIOR, INSTALL NEW TRIM IN MATCHING PROFILES WHERE EXISTING TRIM IS MISSING/DAMAGED. RENAIL EXISTING BEADBOARD CEILINGS, WALLS, AND VARIOUS TRIM THAT ARE NOT BE FASTENED SECURELY. WHERE FACE NAILING IS NECESSARY, SINK NAILHEADS BELOW SURFACE OF WOOD. CLEAN, CAULK, PRIME AND PAINT WOOD CEILINGS, WALLS, TRIM, FRAMES, MOLDINGS, ETC. COLORS TO BE CHOSEN BY ARCHITECT AND OWNER.
- WOOD FLOORING:

17

CAREFULLY REMOVE EXISTING OAK WOOD FLOORING. CONTRACTOR SHALL INSTALL NEW P.T. 2x BLOCKING/SISTERS ON EITHER SIDE OF EXISTING POLE FRAMING. FASTEN TO POLE FRAMING USING 4" WOOD SCREWS IN A STAGGERED PATTERN AT 8" O.C. 3/4" TONGUE AND GROOVE WITH PLYWOOD SUBFLOOR. INSTALL NEW SOLID HEART PINEWOOD FLOORING SYSTEM. INSTALL NEW WOOD THRESHOLD AT DOORS (MAX. 1/2" HEIGHT DIFFERENTIAL) TO MATCH EXISTING DOOR HEIGHT. LIGHT SAND AND SEAL WITH SATIN URETHANE FINISH. NEW FLOORING IN STAGE AREA TO MATCH EXISTING HEIGHT INCREASE.INSTALL NEW TRIM IN MATCHING PROFILES WHERE EXISTING TRIM IS MISSING.
- ELECTRICAL:

18

INSTALL NEW ELECTRICAL PANEL SYSTEM. ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS. CONTRACTOR SHALL COORDINATE WITH CITY UTILITIES FOR POLE FEEDER LINE INSTALLATION. INSTALL NEW LIGHTING CIRCUITS FOR CEILING FIXTURES, SALVAGE/REPLACE AS NEEDED TO MATCH EXISTING MASON JAR PENDANTS. REFEED EXISTING POWER CONDUITS, CONDUCTORS AND LIGHTING AND INSTALL NEW INTERRUPTERS AND SWITCHES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PROPOSED LIGHTING FIXTURES FOR OWNER AND ARCHITECTS APPROVAL.

LEGEND

- EX

EXISTING DOOR TO REMAIN

EX

EXISTING WINDOW TO REMAIN

ROOM

ROOM NAME

N.I.C.

NOT IN CONTRACT

A.F.F.

ABOVE FINISH FLOOR

B.F.F.

BELOW FINISH FLOOR

TYP.

TYPICAL

MIR.

MIRROR

ROOF SLOPE

ROOF RIDGE

ELEVATION MARKER

A

EXISTING WALL

NEW WALL. SEE WALL TYPES

A500

ELEVATION/SECTION NUMBER  
SHEET NUMBER

1

WORK LEGEND NOTE

PHOTO MARKER

PHOTO # / SHEET #

CANOPY ABOVE

WIDE 5V CRIMP METAL ROOF PANELS

CHANGE IN HEIGHT

HEART PINE WOOD FLOOR

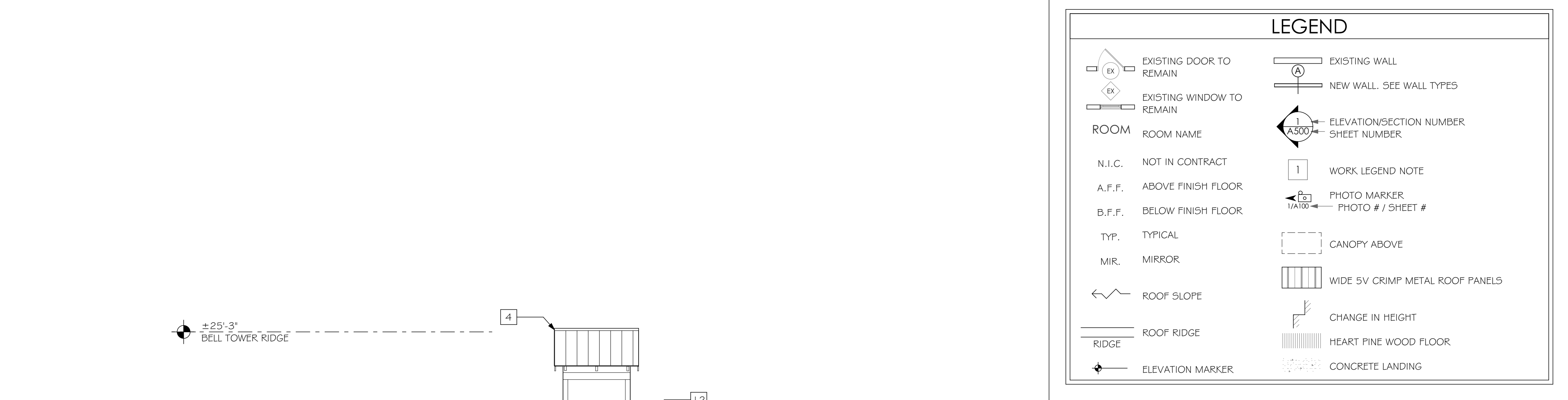
CONCRETE LANDING
- 
- 1  
A201

RENOVATED WEST ELEVATION

SCALE: 1/4" = 1'-0"
- 
- 2  
A201

RENOVATED EAST ELEVATION

SCALE: 1/4" = 1'-0"



**WORK NOTES**

SIDING REPAIR:

[2] REMOVE AND SALVAGE EXISTING COVE SHIPLAP SIDING ON EAST AND WEST FAÇADE TO NEAREST FRAMING MEMBER AND INSTALL NEW SHEATHING TO HOLD PLUMB, VAPOR BARRIER AND SALVAGED WOOD SIDING STAGGERED. CONTRACTOR TO SUPPLEMENT SIDING TO MATCH EXISTING SPECIES AND PROFILES. BACK PRIME NEW SIDING WITH PREMIUM OIL BASED PRIMER, PRIOR TO INSTALLATION, SEAL ALL END GRAIN OF REPLACEMENT WOOD SIDING.

BASE BID TO INCLUDE 200 BOARD FOOT OF DETERIORATION WOOD REPLACEMENT OF EXISTING SIDING. ADD/Deduct OF \$\_\_\_\_/BOARD FOOT FOR ADDITIONAL WOOD DETERIORATION REPLACEMENT.

PORCH:

[6] REMOVE AND SALVAGE EXISTING STAIRS AND PORCH AT MAIN ENTRYWAY. CONTRACTOR TO SUPPLEMENT MISSING POSTS, BALUSTRADES, AND DECKING TO MATCH EXISTING SPECIES, SIZE AND PROFILES.

[7] INSTALL NEW PRESSURE TREATED WOOD RAMP, HANDRAILS, AS DETAILED AND INDICATED IN THE DRAWINGS TO MATCH ADJACENT PORCH PROFILES.

[8] REINSTALL EXISTING ENTRY CANOPY. SUPPLEMENT MISSING/DAMAGED ELEMENTS TO MATCH ORIGINAL CONSTRUCTION.

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[10] PROVIDE A LEVEL CONCRETE LANDING AT BOTTOM OF RAMP AND STAIRS, AS DETAILED.

WINDOW AND DOOR RESTORATION:

[11] NOTE: PAINT SAMPLING TESTED POSITIVE FOR LEAD AND GLAZING COMPOUND TESTED POSITIVE FOR ASBESTOS CONTAINING MATERIAL.

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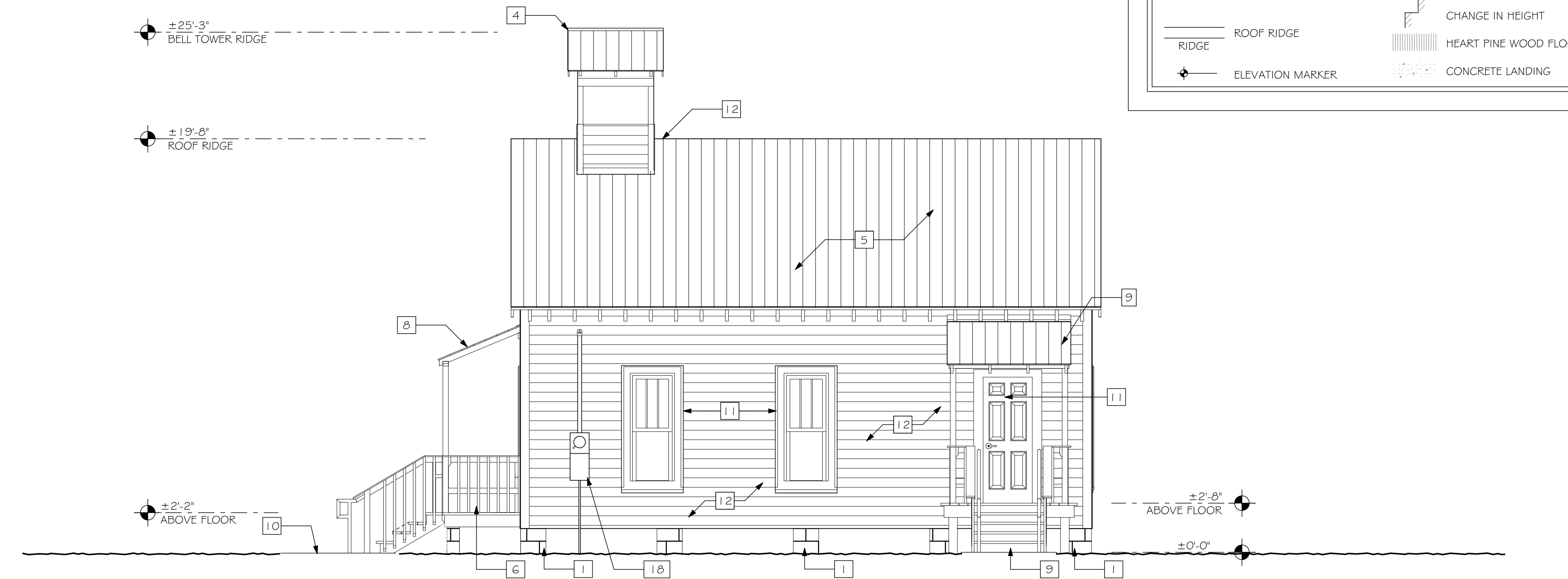
WOOD FLOORING:

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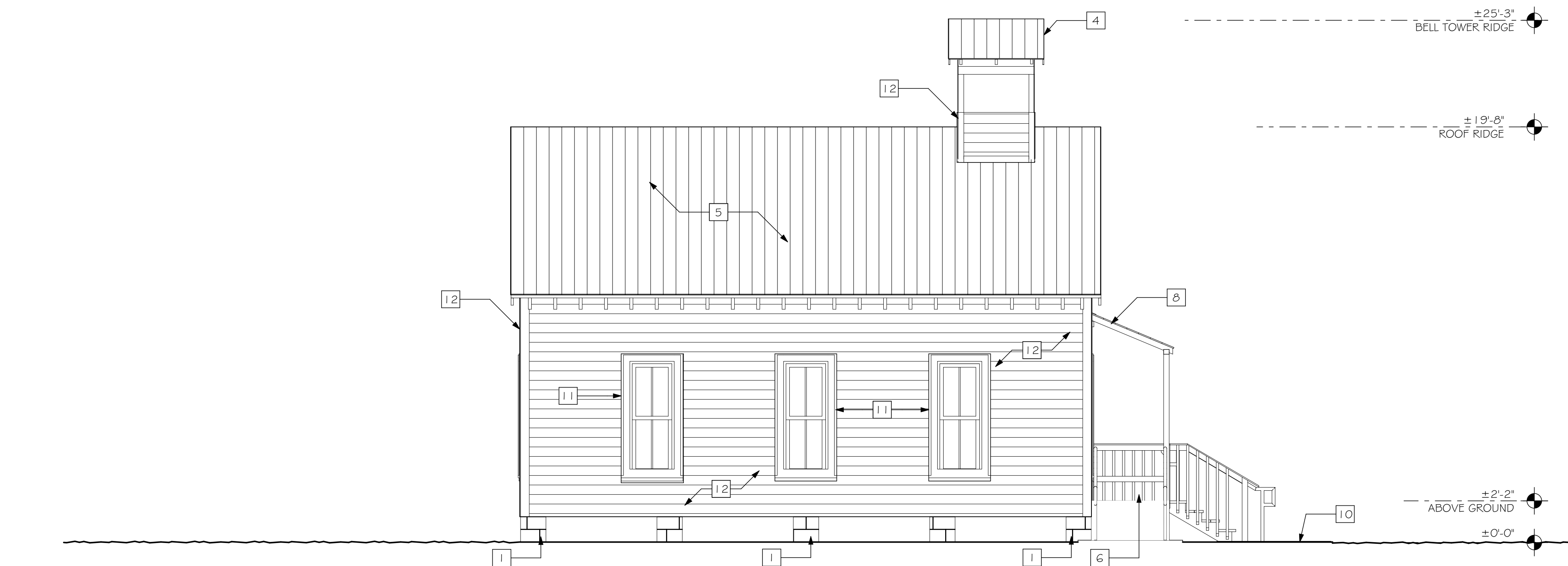
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\*SEE SHEET A00 FOR ALL WORK NOTES



**1 RENOVATED NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**2 RENOVATED SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**CONSULTANTS**

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Authorization No. 31293

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**CALLAWAY HISTORIC SCHOOL HOUSE  
HURRICANE DAMAGE REPAIRS AND STABILIZATION  
SYNERGY NDS  
CALLAWAY, FLORIDA**

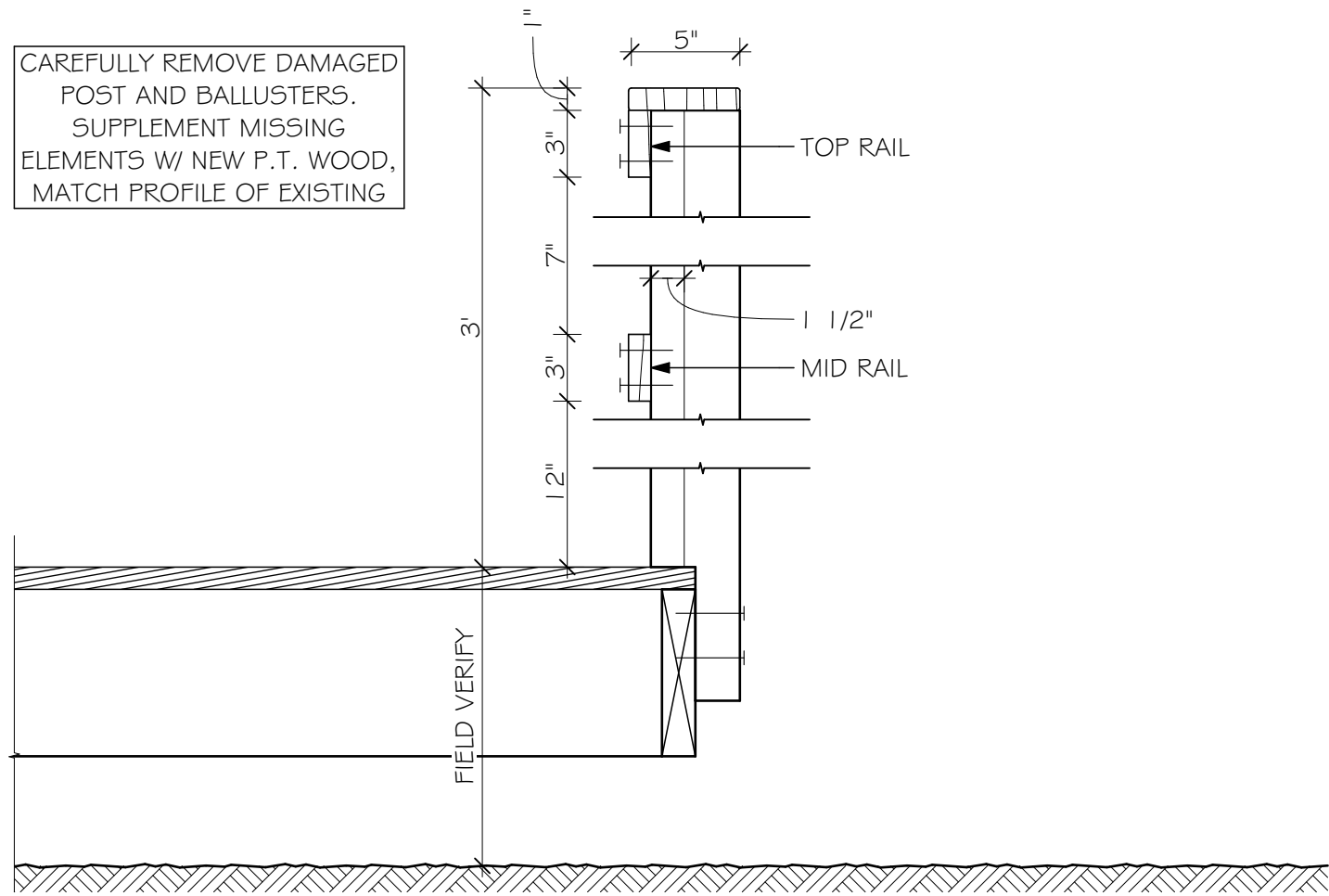
**100% SUBMITTAL**

PROJ. NO.	142619
DATE	10/11/2019
DRAWN	JM
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APPROVED	JS
REVISION	
REVISION DATE	

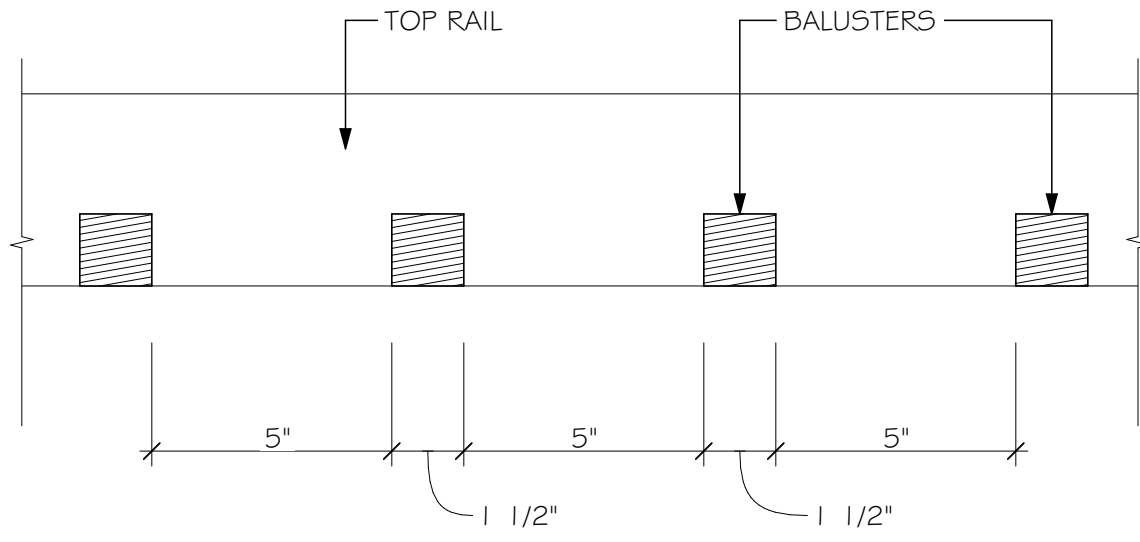
**EXTERIOR  
ELEVATIONS**

**A202**

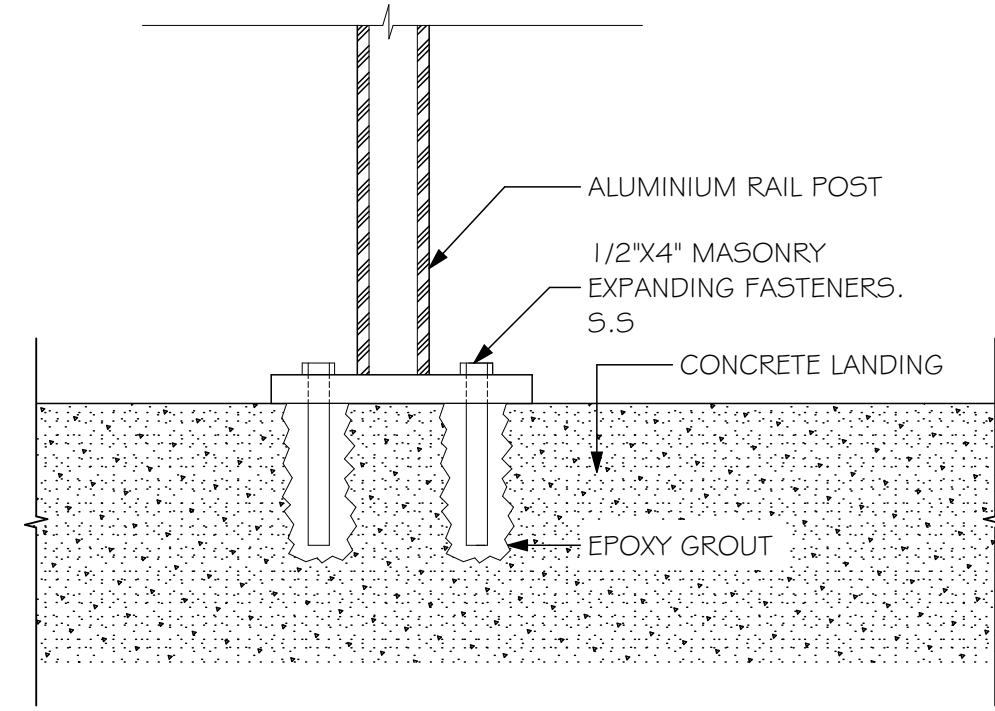
CAREFULLY REMOVE DAMAGED POST AND BALLUSTERS. SUPPLEMENT MISSING ELEMENTS W/ NEW P.T. WOOD, MATCH PROFILE OF EXISTING



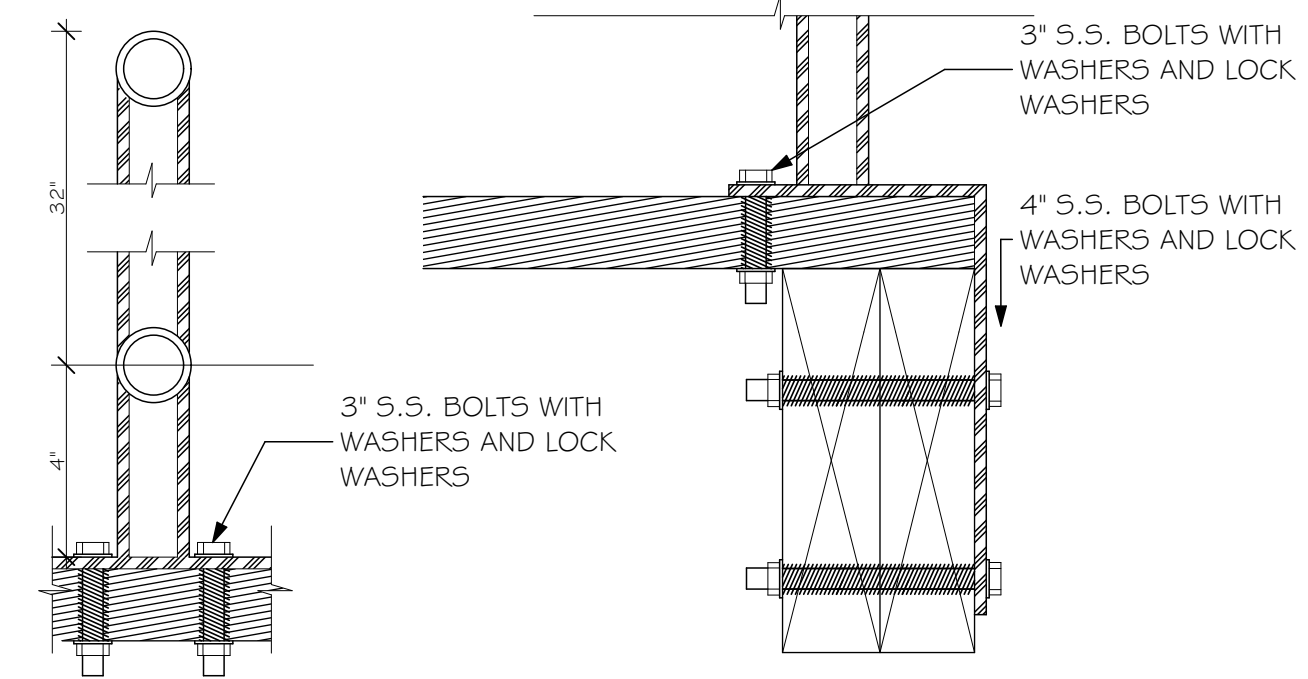
1 RAILING POST DETAIL  
SCALE: 1 1/2" = 1'-0"



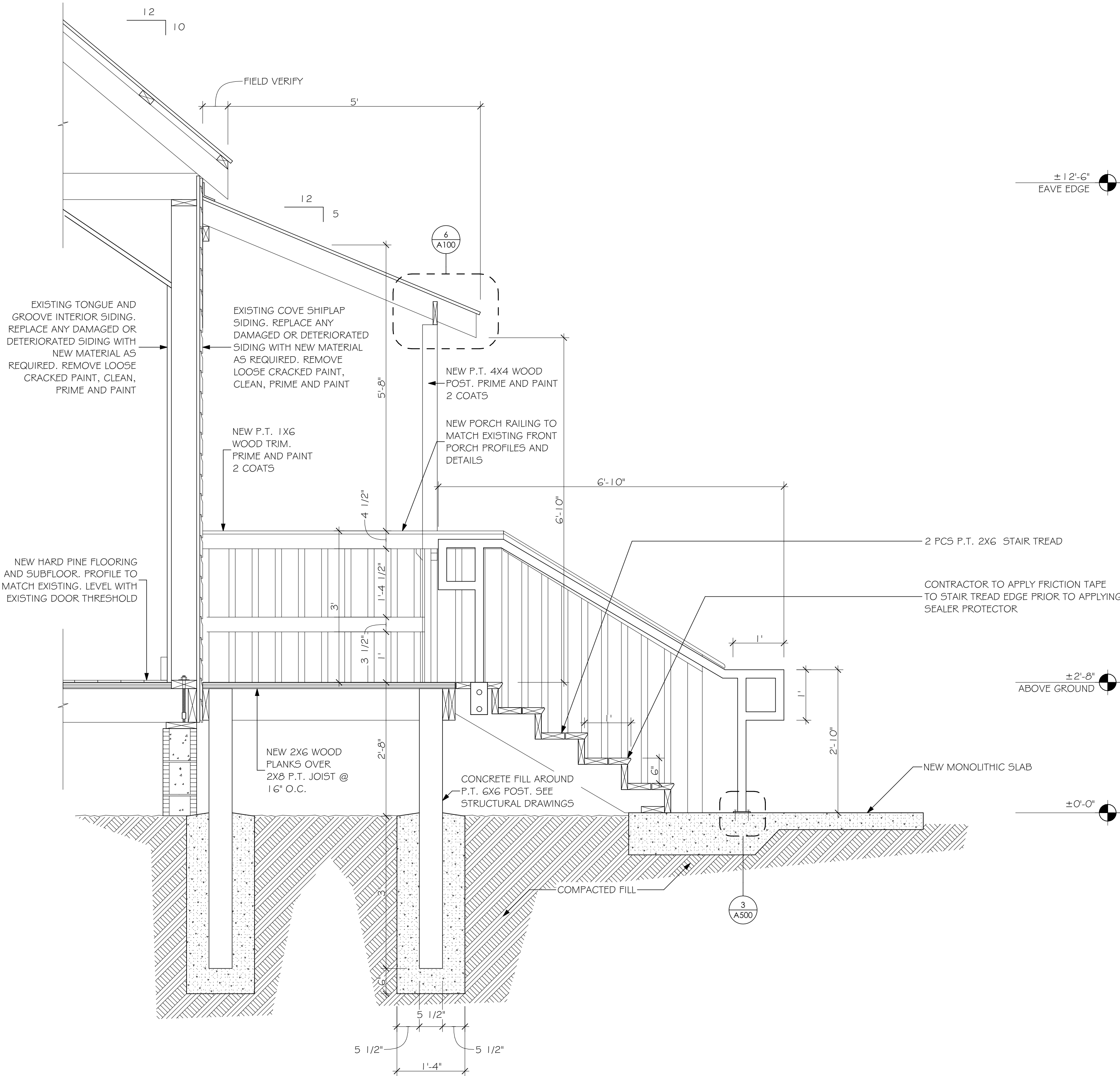
2 BALLUSTER DETAIL  
SCALE: 3" = 1'-0"



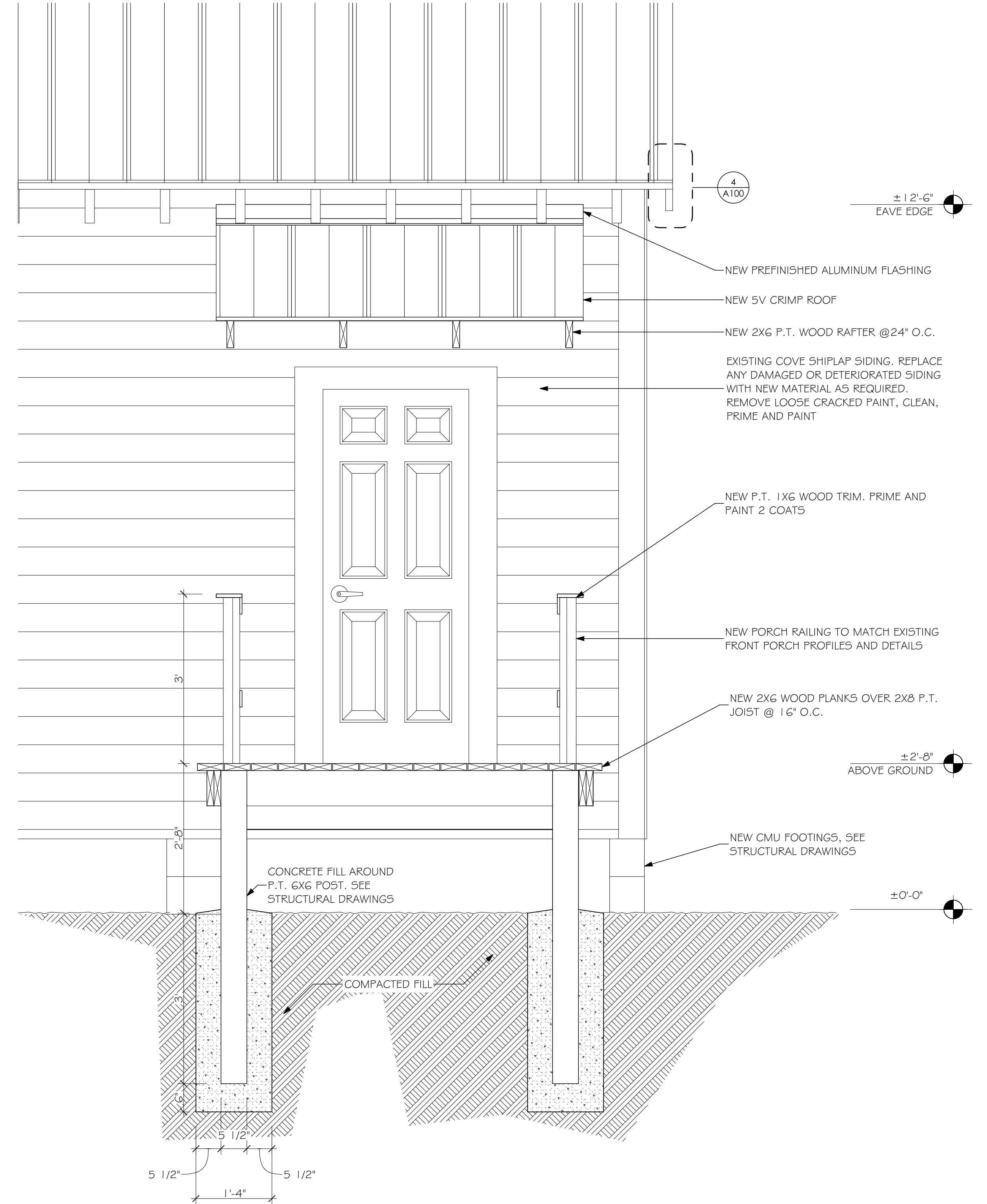
3 RAIL ATTACHMENT DETAILS  
SCALE: 3" = 1'-0"



SCALE: 3" = 1'-0"



4 WALL SECTION  
SCALE: 3/4" = 1'-0"



5 WALL SECTION  
SCALE: 3/4" = 1'-0"

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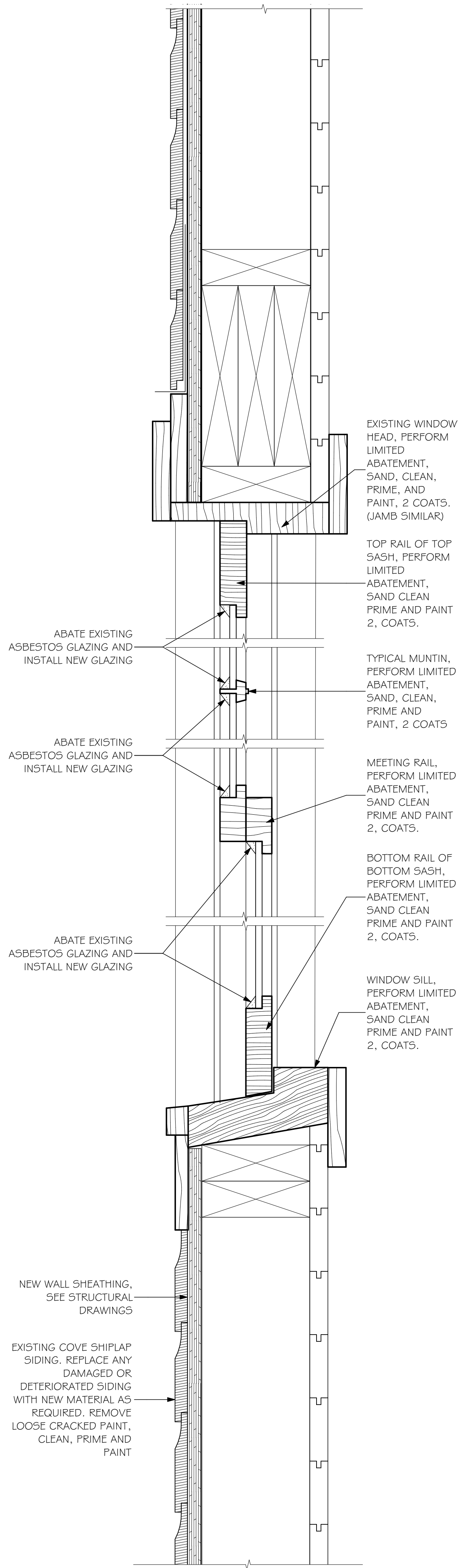
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100% SUBMITTAL

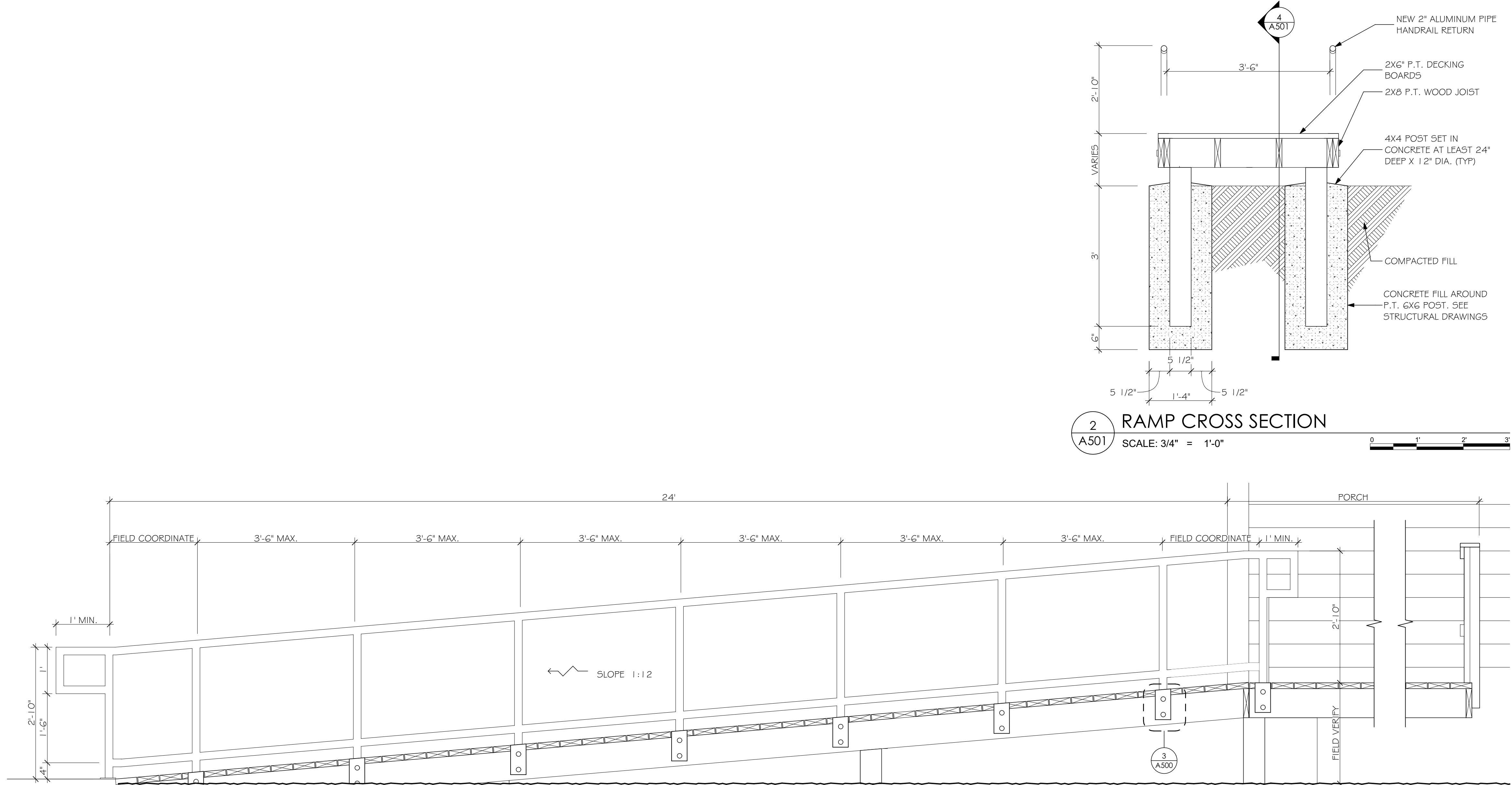
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DETAILS

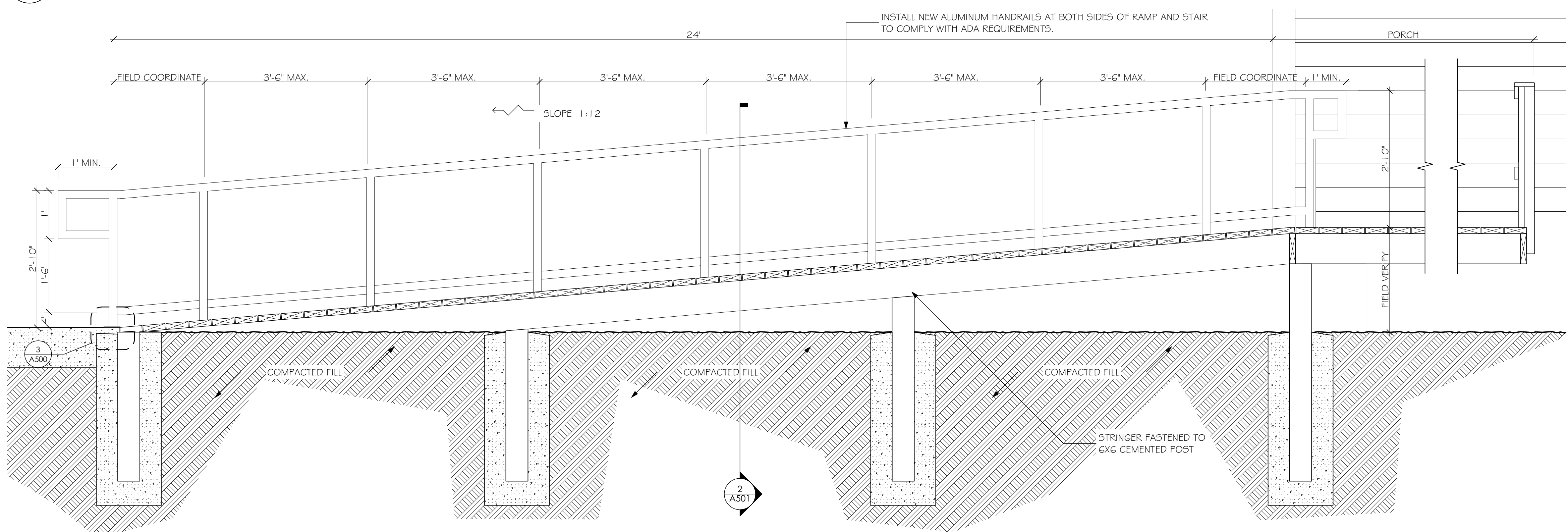
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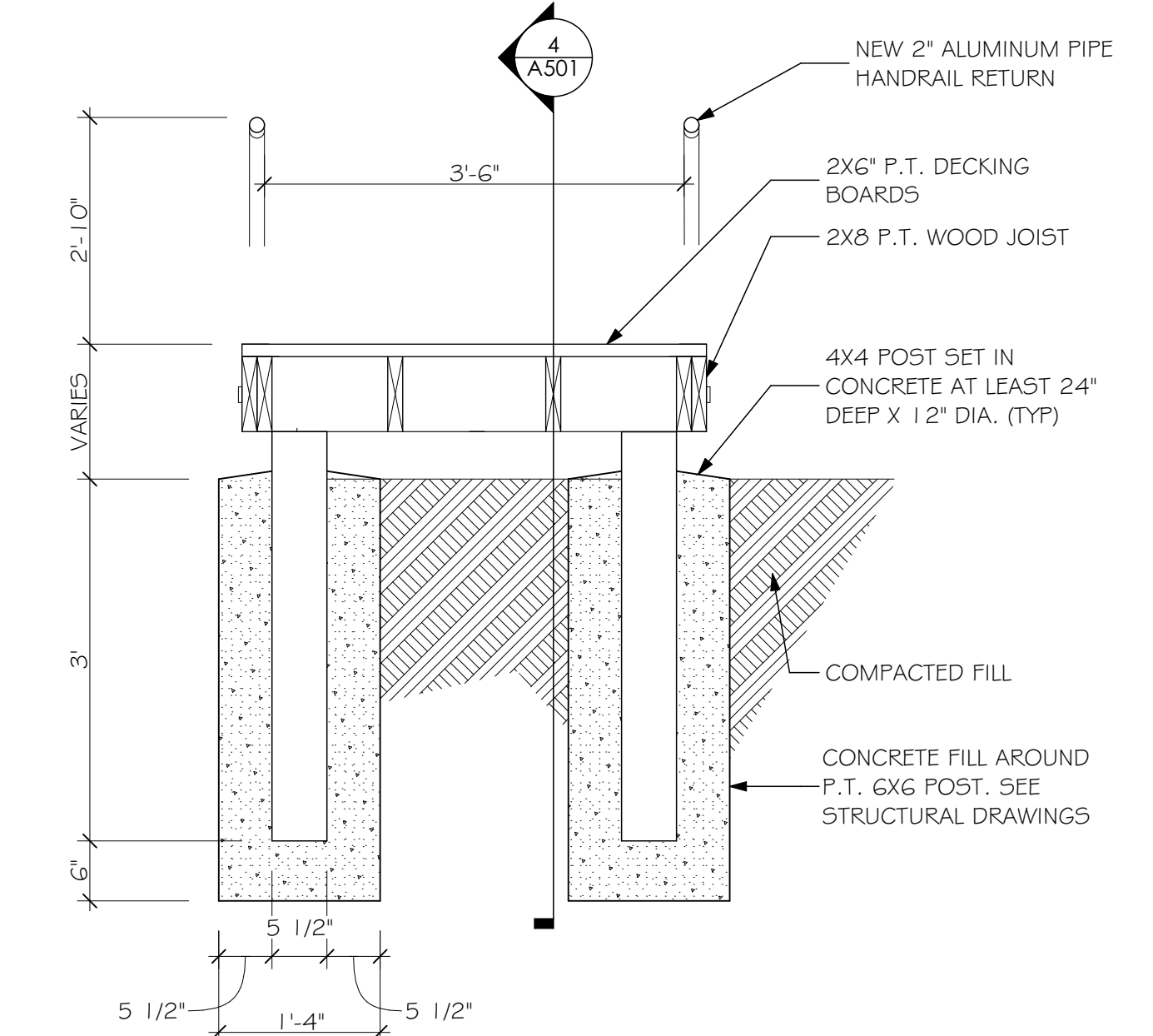
1 WINDOW DETAIL  
SCALE: 3" = 1'-0"



3 RAMP ELEVATION DETAIL  
SCALE: 3/4" = 1'-0"



4 RAMP LONGITUDINAL SECTION  
SCALE: 3/4" = 1'-0"



2 RAMP CROSS SECTION  
SCALE: 3/4" = 1'-0"



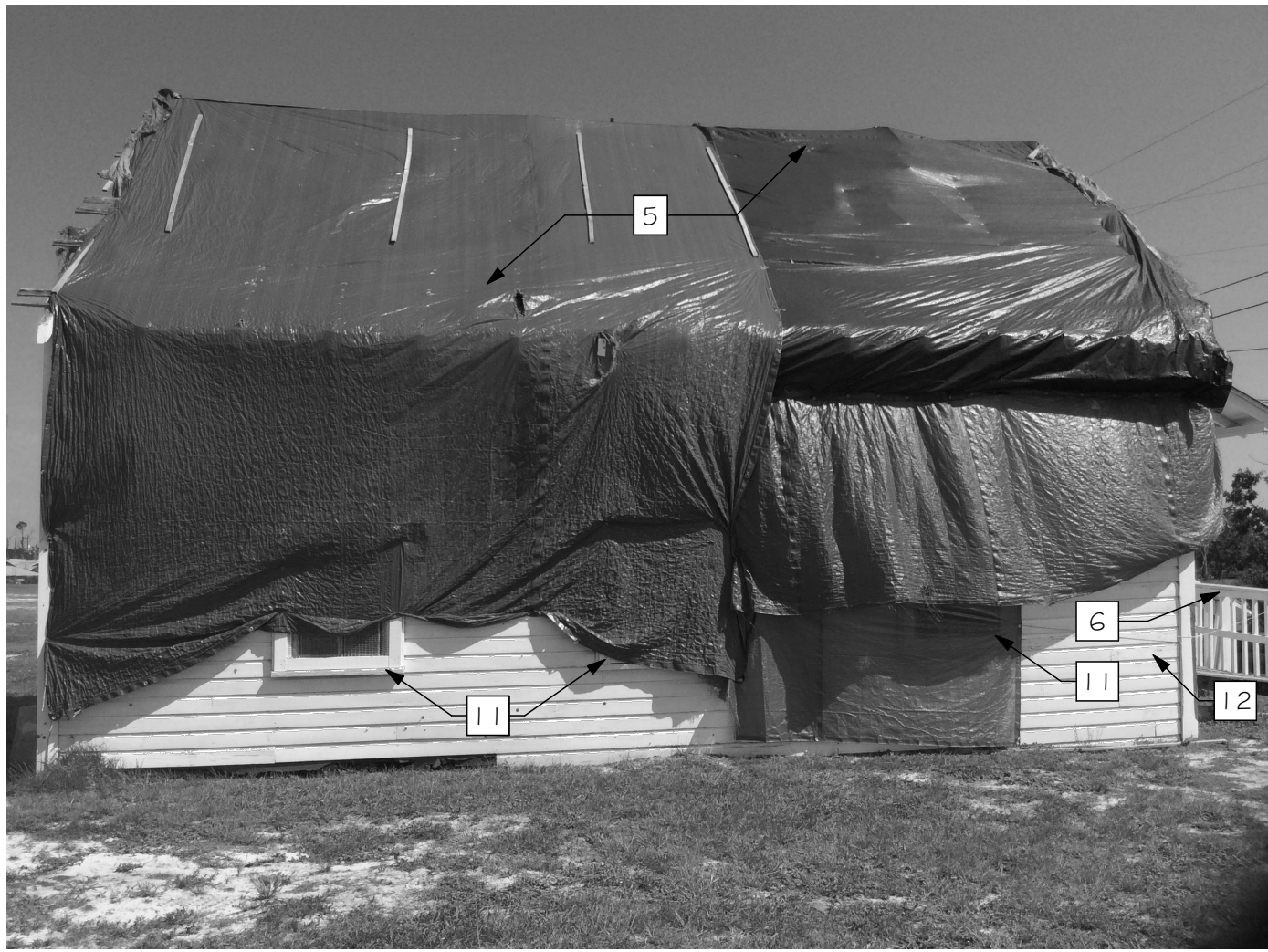
1 PHOTO 1  
A700



2 PHOTO 2  
A700



3 PHOTO 3  
A700



4 PHOTO 4  
A700



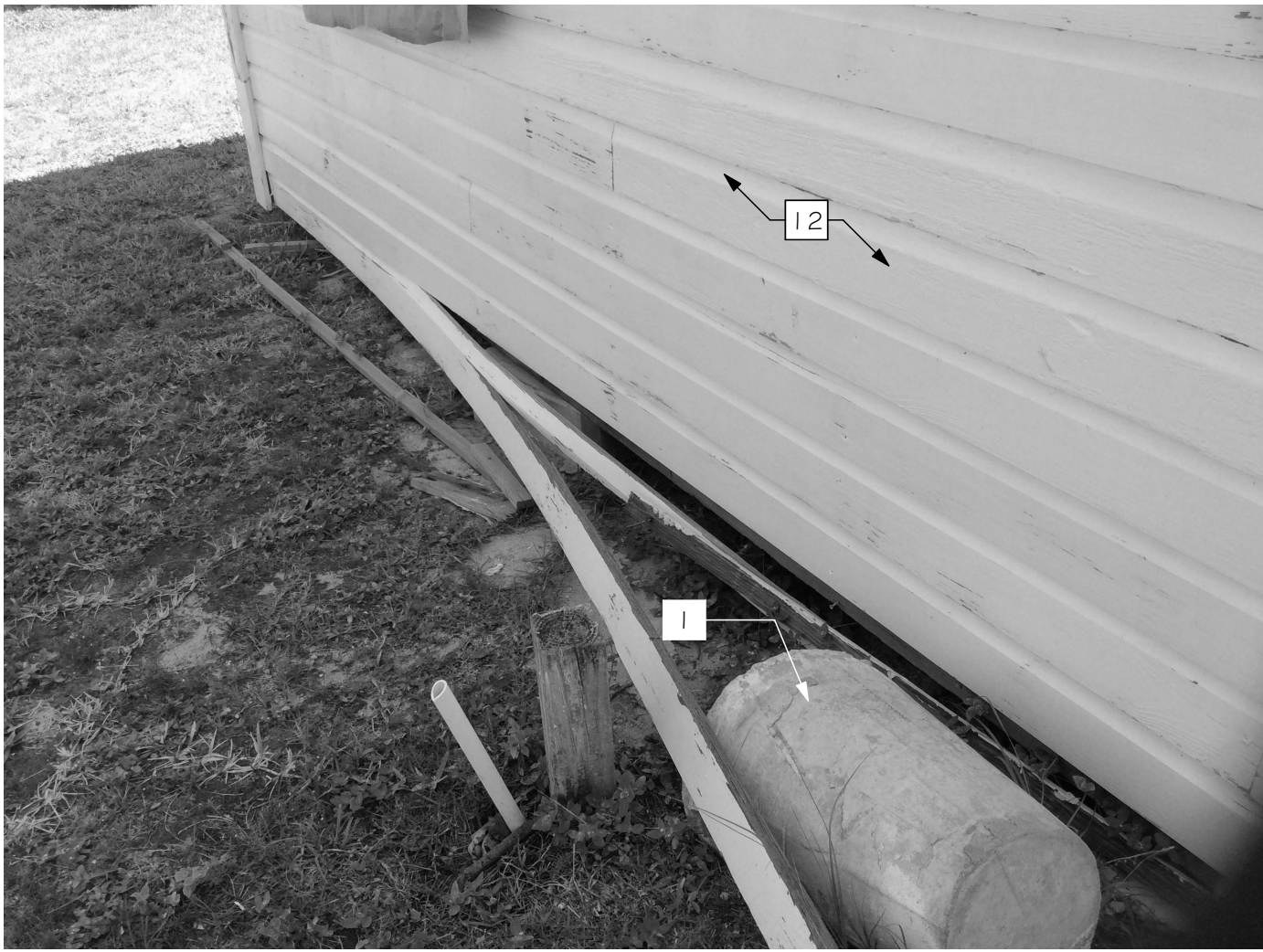
5 PHOTO 5  
A700



6 PHOTO 6  
A700



7 PHOTO 7  
A700



8 PHOTO 8  
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9 PHOTO 9  
A700

## WORK NOTES

### FOUNDATION:

- 1 PLACE SCHOOLHOUSE ON TEMPORARY CRIBBING AND PREPARE NEW FOUNDATIONS. INSTALL NEW CONCRETE BLOCK FOUNDATIONS WITH HELICAL TIEDOWNS. CAREFULLY MOVE SCHOOLHOUSE FROM TEMPORARY CRIBBING, RELOCATE AND SET ON NEW PERMANENT FOUNDATIONS PER THE STRUCTURAL DRAWINGS. CONTRACTOR TO ALIGN THE HOUSE SO THE NEW RAMP ALIGNS WITH THE EXISTING CONCRETE SIDEWALK AS NOTED IN RENOVATION PLAN, SHEET A102. THE CONTRACTOR WILL ANY REPAIR DAMAGES ASSOCIATED WITH RELOCATION TO THE EXISTING BUILDING RESULTING FROM ANY PREPARATION, MOVING AND RELOCATION PROCEDURES. CONTRACTOR WILL REPAIR ALL DAMAGED ITEMS PRIOR TO COMPLETION OF THIS PROJECT.

### SIDING REPAIR:

- 2 REMOVE AND SALVAGE EXISTING COVE SHIPLAP SIDING ON EAST AND WEST FAÇADE TO NEAREST FRAMING MEMBER AND INSTALL NEW SHEATHING TO HOLD PLUMB, VAPOR BARRIER AND SALVAGED WOOD SIDING STAGGERED. CONTRACTOR TO SUPPLEMENT SIDING TO MATCH EXISTING SPECIES AND PROFILES. BACK PRIME NEW SIDING WITH PREMIUM OIL BASED PRIMER, PRIOR TO INSTALLATION, SEAL ALL END GRAIN OF REPLACEMENT WOOD SIDING.

BASE BID TO INCLUDE 200 BOARD FOOT OF DETERIORATION WOOD REPLACEMENT OF EXISTING SIDING. ADD/DEDUCT OF \$\_\_\_\_\_/BOARD FOOT FOR ADDITIONAL WOOD DETERIORATION REPLACEMENT.

### ROOF:

- 3 CAREFULLY REPAIR EXISTING ROOF PER THE STRUCTURAL DRAWINGS. SISTER REMAINING HISTORIC JOISTS.
- 4 RECONSTRUCT SALVAGED HISTORIC BELL TOWER TO MATCH EXISTING INSTALLATION WITH NEW PREFINISHED ALUMINUM CHANNEL AND BASEFLASHING.
- 5 INSTALL NEW PLYWOOD SHEATHING. INSTALL SYNTHETIC WATERPROOFING UNDERLAYMENT OVER ROOF DECKING AND SELF ADHERED RUBBERIZED ASPHALT UNDERLAYMENT ALONG THE RIDGE AND PERIMETER OF ROOF EDGE. INSTALL 24" WIDE 5V CRIMP METAL ROOF PANELS WITH GROMMETED/SELF SEALING STAINLESS STEEL SCREWS PER MANUFACTURER'S FASTENING RECOMMENDATIONS TO MEET FBC WIND UPLIFT REQUIREMENTS INTO ROOF DECKING. INSTALL PREFINISHED METAL VENTED RIDGE CAP, RAKE FLASHING, AND EDGE METAL TRIM AS DETAILED.

### PORCH:

- 6 REMOVE AND SALVAGE EXISTING STAIRS AND PORCH AT MAIN ENTRYWAY. CONTRACTOR TO SUPPLEMENT MISSING POSTS, BALUSTRADES, AND DECKING TO MATCH EXISTING SPECIES, SIZE AND PROFILES.
- 7 INSTALL NEW PRESSURE TREATED WOOD RAMP, HANDRAILS, AS DETAILED AND INDICATED IN THE DRAWINGS TO MATCH ADJACENT PORCH PROFILES.
- 8 REINSTALL EXISTING ENTRY CANOPY. SUPPLEMENT MISSING/DAMAGED ELEMENTS TO MATCH ORIGINAL CONSTRUCTION.
- 9 REBUILD NEW SIDE PORCH AND CANOPY. INSTALL NEW PRESSURE TREATED WOOD POST, BALUSTRADE, HANDRAILS, AND WOOD TREADS/RISERS AS DETAILED AND INDICATED IN THE DRAWINGS TO MATCH ENTRYWAY PORCH PROFILES.
- 10 PROVIDE A LEVEL CONCRETE LANDING AT BOTTOM OF RAMP AND STAIRS, AS DETAILED.

### WINDOW AND DOOR RESTORATION:

- 11 NOTE: PAINT SAMPLING TESTED POSITIVE FOR LEAD AND GLAZING COMPOUND TESTED POSITIVE FOR ASBESTOS CONTAINING MATERIAL.
- A. CUT OUT, SCRAPE AND REMOVE ALL EXISTING PERIMETER GLAZING COMPOUND BETWEEN GLASS AND WOOD MUTTONS AND SASH OF ALL EXTERIOR WINDOWS AND TRANSOMS UNLESS NOTED OTHERWISE. COMPLY WITH ABATEMENT PROCEDURES FOR ASBESTOS CONTAINING GLAZING COMPOUND.
- B. REPLACE ALL SEVERELY DETERIORATED WINDOW AND DOOR COMPONENTS WITH NEW COMPONENTS TO MATCH EXISTING. AT SMALL AREAS OF WOOD ROT, CONTRACTOR TO REMOVE ALL LOOSE AND UNSALVAGEABLE WOOD TO SOUND SUBSTRATE. ALL SOFT BUT SALVAGEABLE WOOD SHALL BE SATURATED WITH MINWAX WOOD HARDENER AND RESTORED WITH MINWAX EPOXY WOOD FILLER TO MATCH EXISTING WOOD PROFILES.
- C. CLEAN RABBIT GROOVE OF WOOD WINDOW MUNTINS AND SASH OF ALL OLD GLAZING COMPOUND AND PAINT TO BARE WOOD. SAND, SEAL WITH LINSEED OIL AND PRIME WITH OIL BASED PRIMER. REPLACE ALL BROKEN GLASS WITH NEW HISTORIC GLASS TO MATCH EXISTING. SECURE NEW AND EXISTING GLASS WITH PUSH POINTS.
- D. MILDEW PREVENTIVE (M-1) TO BE ADDED TO LINSEED OIL, GLAZING COMPOUND, PRIMERS AND PAINT.
- E. REGLAZE ALL WOOD EXTERIOR WINDOWS, CONTRACTOR TO CLEAN AND PREPARE, PRIME AND GLAZE WOOD WINDOW FOR APPROVAL TO BE BASIS FOR QUALITY CONTROL.
- F. PRIME (OIL BASED PRIMER) AND PAINT 2 COATS OVER GLAZING COMPOUND AT ALL EXTERIOR WINDOWS. CLEAN, PRIME, AND PAINT EXTERIOR AND INTERIOR OF WINDOWS AND CASING WITH PREMIUM PAINT/COATING SYSTEM.

### PAINTING:

- 12 BASE BID TO INCLUDE LEAD PAINT ENCAPSULATION ON ALL ELEVATIONS. ENCAPSULATION SHALL INCLUDE SCRAPING LOOSE PAINT AND PREPARING SUBSTRATE AS NECESSARY. ALL LOOSE PAINT REMOVED FROM BUILDING SHALL COMPLY WITH PROPER PROCEDURES AND PROPERLY DISPOSED OF, FOLLOWING THEN PRIMING AND PAINTING THE BUILDING AS NOTED.
- 13 MISCELLANEOUS METAL ACCESSORIES SUCH AS EXPOSED CONDUIT, UNLESS NOTED OTHERWISE, ARE TO BE CLEANED, PRIMED AND PAINTED. ALL RUST TO BE MECHANICALLY OR HAND BRADED AND REPAIR RUSTED AREAS WITH FILLER WHERE NECESSARY, THOROUGHLY CLEANED AS SPECIFIED. TOUCH UP PRIME BARE AND RUSTED METAL SURFACES, THEN COMPLETELY PRIME AND PAINT (2) COATS OF PREMIUM INDUSTRIAL ACRYLIC PAINT ON ALL PREVIOUSLY PAINTED EXTERIOR METAL SURFACES UNLESS NOTED OTHERWISE.
- 14 APPLY PRIMER/BOND COAT AND 2 COATS ACRYLIC PAINT COATING SYSTEM TO CLEANED AND PREPARED, PREVIOUSLY PAINTED SURFACES, HORIZONTAL BANDS, REVEALS, COLUMNS, GABLE END WALLS OVER EXTERIOR OF BUILDING IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS UNLESS NOTED OTHERWISE. APPLY PRIMER/BOND COAT AND 2 COATS PREMIUM EXTERIOR ACRYLIC COATING TO MATCH EXISTING. PRIME SURFACES AS REQUIRED BY COATING MANUFACTURER AND PROVIDE WRITTEN APPROVAL OF SUBSTRATE (AND PREPARATION) FROM COATING MANUFACTURER. FINAL COLOR SHALL BE SELECTED/APPROVED BY ARCHITECT AND OWNER FROM PAINTED SAMPLE PANEL AREA. COLORS TO BE SIMILAR TO, OR MATCH EXISTING.
- 15 PREVIOUSLY PAINTED WINDOW FRAMES TO BE CLEANED PERIMETER SEALANT BONDFACE. CLEAN, PRIME, AND PAINT WINDOW FRAMES FOLLOWING SEALANT WORK AS SPECIFIED. \*SEE SHEET A00 FOR ALL WORK NOTES

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## PHOTOS

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1 PHOTO 1  
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2 PHOTO 2  
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3 PHOTO 3  
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4 PHOTO 4  
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7 PHOTO 5  
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8 PHOTO 6  
A701



5 PHOTO 7  
A701



6 PHOTO 8  
A701



9 PHOTO 9  
A701

## WORK NOTES CONTINUED

### ROOF:

- [3] CAREFULLY REPAIR EXISTING ROOF PER THE STRUCTURAL DRAWINGS. SISTER REMAINING HISTORIC JOISTS.
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### INTERIOR:

- [16] ON INTERIOR, INSTALL NEW TRIM IN MATCHING PROFILES WHERE EXISTING TRIM IS MISSING/DAMAGED. RENAIL EXISTING BEADBOARD CEILINGS, WALLS, AND VARIOUS TRIM THAT ARE NOT BE FASTENED SECURELY. WHERE FACE NAILING IS NECESSARY, SINK NAILHEADS BELOW SURFACE OF WOOD. CLEAN, CAULK, PRIME AND PAINT WOOD CEILINGS, WALLS, TRIM, FRAMES, MOLDINGS, ETC. COLORS TO BE CHOSEN BY ARCHITECT AND OWNER.

### WOOD FLOORING:

- [17] CAREFULLY REMOVE EXISTING OAK WOOD FLOORING. CONTRACTOR SHALL INSTALL NEW P.T. 2x BLOCKING/SISTERS ON EITHER SIDE OF EXISTING POLE FRAMING. FASTEN TO POLE FRAMING USING 4" WOOD SCREWS IN A STAGGERED PATTERN AT 8' O.C. 3/4" TONGUE AND GROOVE WITH PLYWOOD SUBFLOOR. INSTALL NEW SOLID HEART PINWOOD FLOORING SYSTEM. INSTALL NEW WOOD THRESHOLD AT DOORS (MAX. 1/2" HEIGHT DIFFERENTIAL) TO MATCH EXISTING DOOR HEIGHT. LIGHT SAND AND SEAL WITH SATIN URETHANE FINISH. NEW FLOORING IN STAGE AREA TO MATCH EXISTING HEIGHT INCREASE. INSTALL NEW TRIM IN MATCHING PROFILES WHERE EXISTING TRIM IS MISSING.

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## PHOTOS

A701

ELECTRICAL REQUIREMENTS

BASIC ELECTRICAL MATERIALS AND METHODS

- ELECTRICAL COMPONENTS, DEVICES, AND ACCESSORIES: LISTED AND LABELED AS DEFINED IN NFPA 70, ARTICLE 100, BY A TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION, AND MARKED FOR INTENDED USE.
- IDENTIFICATION DEVICE COLORS: USE THOSE PRESCRIBED BY ANSI A13.1, NFPA 70, AND THESE SPECIFICATIONS.
- COLORLED ADHESIVE MARKING TAPE FOR RACEWAYS, WIRES, AND CABLES: SELF-ADHESIVE VINYL TAPE, NOT LESS THAN 1 INCH WIDE BY 3 MILS THICK (25 MM WIDE BY 0.08 MM THICK).
- TAPE MARKERS FO CONDUCTORS: VINYL OR VINYL-CLOTH, SELF-ADHESIVE, WRAPAROUND TYPE WITH PREPRINTED NUMBERS AND LETTERS.
- STOCK, MELAMINE PLASTIC LAMINATE PUNCHED OR DRILLED FOR MECHANICAL FASTENERS 1/16-INCH (1.6-MM) MINIMUM THICKNESS FOR LARGER SIZES. ENGRAVED LEGEND IN BLACK LETTERS ON WHITE BACKGROUND.
- PULL STRINGS: PROVIDE PULL STRINGS IN ALL SPARE OR EMPTY CONDUITS AND RACEWAYS.
- COORDINATE NAMES, ABBREVIATIONS, COLORS AND OTHER DESIGNATIONS USED FOR ELECTRICAL IDENTIFICATION WITH CORRESPONDING DESIGNATIONS INDICATED IN THE CONTRACT DOCUMENTS OR REQUIRED BY CODES AND STANDARDS. USE CONSISTENT DESIGNATIONS THROUGHOUT PROJECT.
- CUT, CHANNEL, CHASE, AND DRILL FLOORS, WALLS, PARTITIONS, CEILINGS, AND OTHER SURFACES REQUIRED TO PERMIT ELECTRICAL INSTALLATIONS. PERFORM CUTTING BY SKILLED MECHANICS OF TRADES INVOLVED. SEAL ALL CONDUIT PENETRATIONS. USE APPROVED METHODS TO MAINTAIN UL-RATED ASSEMBLIES.
- REPAIR, REFINISH AND TOUCH UP DISTURBED FINISH MATERIALS AND OTHER SURFACES TO MATCH ADJACENT UNDISTURBED SURFACES.
- ALL WORK SHALL COMPLY WITH CODES & STANDARDS LISTED ON THE PLANS.

GROUNDING AND BONDING

- EQUIPMENT GROUNDING CONDUCTORS: COMPLY WITH NFPA 70, ARTICLE 250, FOR TYPES, SIZES, AND QUANTITIES OF EQUIPMENT GROUNDING CONDUCTORS, UNLESS SPECIFIC TYPES LARGER SIZES, OR MORE CONDUCTORS THAN REQUIRED BY NFPA 70 ARE INDICATED.
- INSTALL INSULATED EQUIPMENT GROUNDING CONDUCTORS IN ALL FEEDERS AND BRANCH CIRCUITS.
- ALL GROUNDING CONDUCTORS SHALL BE COPPER; COMPLY WITH NOTES FOR "CONDUCTORS AND CABLES" AND ASTM B, AS APPLICABLE.
- EQUIPMENT GROUNDING CONDUCTORS: INSULATED WITH GREEN-COLORED INSULATION.
- GROUNDING ELECTRODE CONDUCTORS: STRANDED COPPER CABLE.
- UNDERGROUND CONDUCTORS; BARE, TINNED, STRANDED, UNLESS OTHERWISE INDICATED.
- CONNECTORS: COMPLY WITH IEEE 837 AND UL 467; LISTED FOR USE FOR SPECIFIC TYPES, SIZES, AND COMBINATIONS OF CONDUCTORS AND CONNECTED ITEMS.
- IN RACEWAYS, USE INSULATED EQUIPMENT GROUNDING CONDUCTORS.
- EXOTHERMIC-WELDED CONNECTIONS; USE FOR CONNECTIONS TO STRUCTURAL STEEL AND FOR UNDERGROUND CONNECTORS.
- GROUNDING CONDUCTORS: ROUTE ALONG SHORTEST AND STRAIGHTEST PATHS POSSIBLE, UNLESS OTHERWISE INDICATED. AVOID OBSTRUCTING ACCESS OR PLACING CONDUCTORS WHERE THEY MAY BE SUBJECTED TO STRAIN, IMPACT, OR DAMAGE.
- BONDING STRAPS AND JUMPERS: INSTALL SO VIBRATION BY EQUIPMENT MOUNTED ON VIBRATION ISOLATION HANGERS OR SUPPORTS IS NOT TRANSMITTED TO RIGIDLY MOUNTED EQUIPMENT.

CONDUCTORS AND CABLES

- CONDUCTOR MATERIAL: COPPER COMPLYING WITH NEMA WC 5 OR 7; SOLID CONDUCTOR FOR NO. 10 AWG AND SMALLER, STRANDED FOR NO. 8 AWG AND LARGER. MINIMUM CONDUCTOR SIZE; #12 AWG.
- CONDUCTOR INSULATION TYPES: TYPE THAN-TAN COMPLYING WITH NEMA WC 5 OR WC 7.
- TYPE MC CABLE SHALL NOT BE PERMITTED.
- FEEDERS CONCEALED IN WALLS OR CEILING: TYPE THHN-THWN, SINGLE CONDUCTORS IN RACEWAY.
- BRANCH CIRCUITS CONCEALED IN CEILINGS, WALLS, AND PARTITIONS: TYPE THHN-THWN, SINGLE CONDUCTORS IN RACEWAY.
- CONCEAL CABLES AND RACEWAYS IN FINISHED WALLS, CEILINGS, AND FLOORS.
- USE MANUFACTURER-APPROVED PULLING COMPOUND OR LUBRICANT WHERE NECESSARY; COMPOUND USED MOST NOT DETERIORATE CONDUCTOR OR INSULATION. DO NOT EXCEED MANUFACTURER'S RECOMMENDED MAXIMUM PULLING TENSIONS AND SIDEWALL PRESSURE VALUES.
- INSTALL EXPOSED CABLES PARALLEL AND PERPENDICULAR TO SURFACES OF EXPOSED STRUCTURAL MEMBERS, AND FOLLOW SURFACE CONTOURS WHERE POSSIBLE.
- MAKE SPLICES AND TAPS THAT ARE COMPATIBLE WITH CONDUCTORS MATERIAL AND THAT POSSESS EQUIVALENT OR BETTER MECHANICAL STRENGTH AND INSULATION RATINGS THAN UNSPLICED CONDUCTORS.
- WIRING AT OUTLETS: INSTALL CONDUCTOR AT EACH OUTLET, WITH AT LEAST 6 INCHES (150 MM) OF SLACK.

ELECTRICAL REQUIREMENTS CONT.

RACEWAYS AND BOXES

- PERMANENTLY LABEL ALL RACEWAYS AND JUNCTION/PULL BOX COVERS TO INDICATE PANEL/CIRCUIT NUMBERS CONTAINED.
- UNLESS OTHERWISE NOTED, PROVIDE NEMA 1 ENCLOSURES IN INDOOR LOCATIONS, NEMA 3R ENCLOSURES IN OUTDOOR LOCATIONS.
- MINIMUM RACEWAY SIZE: 3/4" TRADE SIZE. ALL RACEWAY SHALL BE METALLIC.
- KEEP RACEWAYS AT LEAST 6 INCHES (150 MM) AWAY FROM PARALLEL RUNS OF HOT-WATER PIPES. INSTALL HORIZONTAL RACEWAY RUNS ABOVE WATER PIPING.
- PROJECT STB-UPS FROM DAMAGE WHERE CONDUITS RISE THROUGH FLOOR SLABS. ARRANGE SO CURVED PORTIONS OF BENDS ARE NOT VISIBLE ABOVE FINISHED SLAB.
- MAKE BENDS AND OFFSETS SO ID IS NOT REDUCED. KEEP LEGS OF BENDS IN SAME PLANE AND KEEP STRAIGHT LEGS OF OFFSETS PARALLEL, UNLESS OTHERWISE INDICATED.
- CONCEAL CONDUIT AND EMT WITHIN FINISHED WALLS, CEILINGS, AND FLOORS EXCEPT AT PANEL OR WHERE INDICATED TO BE SURFACE-MOUNTED.
- INSTALL EXPOSED RACEWAYS PARALLEL OR AT RIGHT ANGELS TO NEARBY SURFACES OR STRUCTURAL MEMBERS AND FOLLOW SURFACE CONTOURS AS MUCH AS POSSIBLE.
- EMT FITTINGS: COMPRESSION TYPE.
- FLEXIBLE CONNECTIONS: USE MAXIMUM OF 72 INCHES (1830 MM) OF FLEXIBLE CONDUIT FOR RECESSED AND SEMI-RECESSED LIGHTING FIXTURES; FOR EQUIPMENT SUBJECT TO VIBRATION, NOISE TRANSMISSION, OR MOVEMENT; AND FOR ALL MOTORS. USE LFMC IN DAMP OR WET LOCATIONS. INSTALL SEPARATE GROUND CONDUCTOR ACROSS FLEXIBLE CONNECTIONS.

WIRING DEVICES

- STRAIGHT-BLADE-TYPE RECEPTACLES: COMPLY WITH NEMA WD 1, NEMA WD 6, D5CC W-C-596G, AND UL 498. STRAIGHT-BLADE AND LOCKING RECEPTACLES: HEAVY-DUTY GRADE.
- SINGLE- AND DOUBLE-POLE SWITCHES: COMPLY WITH D5CC W-C-896F AND UL 20.
- SNAP SWITCHES; HEAVY-DUTY GRADE, QUIET TYPE.
- DEVICE & COVER PLATE FINISH TO BE WHITE DEVICES, UNLESS OTHERWISE INDICATED OR REQUIRED BY NFPA 70.
- INSTALL DEVICES AND ASSEMBLIES LEVEL, PLUMB, AND SQUARE WITH BUILDING LINES.
- ARRANGEMENT OF DEVICES: UNLESS OTHERWISE INDICATED, MOUNT FLUSH, WITH LONG DIMENSION VERTICAL. GROUP ADJACENT SWITCHES UNDER SINGLE, MULTIGANG WALL PLATES.
- REMOVE WALL PLATES AND PROTECT DEVICES AND ASSEMBLIES DURING PAINTING.
- ADJUST LOCATIONS OF FLOOR SERVICE OUTLETS AND SERVICE POLES TO SUITE ARRANGEMENT OF PARTITIONS AND FURNISHINGS.
- AFTER INSTALLING WIRING DEVICES AND AFTER ELECTRICAL CIRCUITRY HAS BEEN ENERGIZED, TEST FOR PROPER POLARITY, GROUND CONTINUITY, AND COMPLIANCE WITH REQUIREMENTS.


INTERIOR LIGHTING


- LIGHTING FIXTURES: AS NOTED ON PROJECT PLANS.
- WHERE EXIT SIGNS ARE USED, THEY SHALL BE LED-TYPE.
- FIXTURES: SET LEVEL, PLUMB, AND SQUARE WITH CEILINGS AND WALLS. INSTALL LAMPS IN EACH FIXTURE.
- FOR EMERGENCY LIGHTING FIXTURES, PROVIDE UNSWITCHED HOT CONDUCTOR AS INDICATED ON THE PLANS.
- PROVIDE ALL BOXES, BACK BOXES, ROUGH-INS, TRIMS, DRIVERS, BALLASTS, POWER SUPPLIES, FEEDS, COUPLINGS, STEMS, SUPPORTS, AND OTHER MOUNTING ACCESSORIES AND HARDWARE FOR A COMPLETE AND FUNCTIONAL INSTALLATION.


DEMOLITION:


- WHERE EXISTING DEVICES, FIXTURES, OR EQUIPMENT IS REMOVED, REMOVE ALL UNUSED WIRING, RACEWAY, AND CABLING BACK TO PANEL OR NEXT DEVICE TO REMAIN.
- REMOVE ALL UNUSED OR ABANDONED WIRING, RACEWAY, AND CABLING ABOVE CEILING IN AREA OF RENOVATION.
- PROTECT AND/OR RE-ROUTE ANY EXISTING CIRCUITS TO REMAIN PASSING AFFECTED BY DEMOLITION.


ELECTRICAL LEGEND


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NEW 20A/277V SINGLE POLE 3-WAY SWITCH. MOUNT HEIGHT OF EXISTING
- 

EMERGENCY WALL-PACK, WITH INVERTER & BATTERY BACKUP. TYPE "EM" CIRCUIT TO UNSWITCHED ROOM LIGHTING CIRCUIT WITH 2 #12, #12 GND.
- 

NEW WALL-MOUNTED OCCUPANCY SENSOR SWITCH CONTROL, EQUAL TO WATTSTOPPER #FW-100, RE-FEED FROM EXISTING LIGHTING CIRCUIT SERVING THE ROOM
- 

NEW MASON JAR PENDANT LIGHTING, EQUAL TO VAXCEL MODEL NUMBER #P0188, FINISH OIL RUBBED BRONZE.
- 

NEW BRANCH CONDUCTORS IN EMT RACEWAY. CONDUCTORS SHALL BE COPPER, THHN/THWN, #12 AWG (MINIMUM). RACEWAY SHALL BE 3/4" MINIMUM, EMT. PROVIDE DEDICATED INSULATED GREEN EQUIPMENT GROUNDING CONDUCTOR IN ALL RACEWAYS
- 

NEW 120V/20A DUPLEX RECEPTACLE / MATCH EXISTING HEIGHT UNLESS NOTED OTHERWISE
- 

NEW LED EXIT/EMERGENCY FIXTURE, WITH INVERTER & BATTERY BACKUP. TYPE "EM" CIRCUIT TO UNSWITCHED ROOM LIGHTING CIRCUIT WITH 2 #12, #12 GND.

WORK NOTES

- ELECTRICAL:**
- 18** INSTALL NEW ELECTRICAL PANEL SYSTEM. ELECTRICAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS. CONTRACTOR SHALL COORDINATE WITH CITY UTILITIES FOR POLE FEEDER LINE INSTALLATION. INSTALL NEW LIGHTING CIRCUITS FOR CEILING FIXTURES, SALVAGE/REPLACE AS NEEDED TO MATCH EXISTING MASON JAR PENDANTS. REFEED EXISTING POWER CONDUITS, CONDUCTORS AND LIGHTING AND INSTALL NEW INTERRUPTERS AND SWITCHES. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PROPOSED LIGHTING FIXTURES FOR OWNER AND ARCHITECTS APPROVAL.

PANEL: QO

NOTE: PANEL AND BREAKERS ARE NEW. CONTRACTOR, SHALL COORDINATE WITH ELECTRICAL SUBCONTRACTORS.

TYPE: NEMA-1 SERVICE: 120/240V, 1 PHASE, 3 WIRE LOCATION: SEE PLAN RATING: 125 A SERIES: QO SERIES										NOTE: PANEL AND BREAKERS ARE NEW. CONTRACTOR, SHALL COORDINATE WITH ELECTRICAL SUBCONTRACTORS.									
CKT DESCRIPTION		BKR	P	WIRE/CONDUIT	LOAD	KVA			LOAD	WIRE/CONDUIT	BKR	P	DESCRIPTION		CKT				
1	RECEPTACLE	20		1 #2 12, 1 #12 G 1/2" C.	0.36	0.36			0.36	2 #12, 1 #12 G 1/2" C.	1	20	NEW LIGHTING		2				
3	SPARE						0.36						SPARE		4				
5															6				
6															8				
8															10				
11															12				
						0.36	0.36												